

LAKE CALIFORNIA ARCHITECTURAL COMMITTEE RULES



Approved May 5, 2016

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ARCHITECTURAL COMMITTEE INFORMATION FOR BOTH NEW CONSTRUCTION AND ANY ALTERATIONS/ADDITIONS

Thank you for choosing Lake California as the place to build your new home. This booklet is your guide to the architectural standards developed in accordance with the Tehama County requirements, our CC&R's, and the Architectural Rules of the Association. There is an Architectural Committee (AC) whose purpose is to help insure property owners that the general plan of the development is followed. All building plans are carefully reviewed and approved by the AC for compliance so that all new construction will enhance the present and future value of the community.

The AC Members are divided into tract number or geographical areas within Lake California. Your designated AC Member has the responsibility to help you through this process. They are your main contact for the entire build process starting with the details of this book to the final sign-off on your finished home.

All New Build projects that fall under Architectural Committee jurisdiction cannot proceed until AC approval has been granted. It is required that you have ready the following minimum requirements for your first AC Preliminary Approval Meeting.

1. **PROPERTY OWNER MUST PRESENT TWO SETS "PLAN CHECK READY" PLANS AND PLOT PLAN TO LC AC COMMITTEE PRIOR TO SUBMITTAL TO TEHAMA COUNTY FOR REVIEW AND APPROVAL. THE EXCEPTION WILL BE COMMERCIAL PRELIMINARY.**
2. Property owner should provide building designer and contractor with Architectural Control Plan Check List to ensure plans meet the Lake California POA requirements.
3. Two (2) plot plans with Storm Water Flow Arrows and indicating front, back, right side and left side elevations.
4. A signed survey by a licensed surveyor or engineer must be included with your plans if LC does not have one on file at the LCPOA office. Plans must indicate Property Line Pins location and Drainage.
5. Owner must verify property corner pins.
6. Landscape plan and exterior color and roofing samples.
7. Your Fees and Deposits. See Fee Schedule page for details.

The LC Architectural Committee requires a qualified engineer (such as Associated Engineering Consultants 226-1616) to inspect the culvert / flow line and turn their findings into the LC AC Member before culvert is graded or installed and driveway is poured.

If your plans meet Lake California POA Preliminary Review requirements, you are free to submit your plans to Tehama County Building Department (TCB) Plan Check. After obtaining your TCB Permits your AC Member will then schedule you for the next available AC meeting for final approval to start building. Please see AC Plan Submittal Check off List for the required list that will be part of the review with the Architectural Committee for approval.

Owners, authorized representatives, or Contractors are required to be present at each meeting with AC members for plan approval.

During the planning stage, take the time to consider several things important to your project. For example: notice the colors and designs of other structures in the immediate area and avoid exact duplication. Identical colors are not permitted. Exact elevations are not permitted within 300 feet in any direction.

No site work is to begin prior to AC approval of your plans, all fees & deposits are paid, you have your Tehama County Permit Card, and you have your Blue Permit Card from LCPOA to construct. A penalty will be levied against the Builder/Contractor if this provision is not followed. Normal weed and brush abatement/control and stringing the lot are the only exceptions.

ARCHITECTURAL COMMITTEE INFORMATION FOR BOTH NEW CONSTRUCTION AND ANY ALTERATIONS/ADDITIONS

You must have your Occupancy Certificate from the Tehama County Building Department prior to moving into your new home. A copy must also be given to either your AC Member or the LCPOA prior to any refunds on deposits. Anyone occupying a newly constructed residence prior to this will be subject to a forfeiture of all or a portion of their construction deposit.

The Architectural Committee may utilize a 45-day review period. Time starts once your application approval is complete. **All applications fall under the 45-day maximum review time. The LC AC will try to review and approve all complete applications turned in within 5 to 7 days.**

Properties that were constructed **or purchased** prior to current Lake California Architectural Committee Rules shall be considered “approved, but non-conforming or **compliant**”. At such time when the Property Owner chooses to make **specific** changes or updates to the property as submitted on an Application for Alternation or Addition to the LC AC. At that time, the property **and the specific new project (only)** shall be subject to Lake California Architectural Committee review as it relates to meeting current LC AC Rules.

LCPOA REQUIREMENTS AND PERMIT PROCESS

First time Lake California builders or owners are encouraged to contract your Geographically Assigned Architectural Control Member to set up a meeting to cover any questions/concerns you may have regarding what the LCPOA Requirements are for new builds. Your Designated AC Member will guide you through this process.

1. Preliminary Plan Review should be at a monthly AC meeting. Alternate: If schedules allow, a four (4) member preliminary review may be possible. Having a four (4) member Meeting requires a posted agenda meeting.
2. Once you obtain your Tehama County Building Permit, you're AC Member or the LCPOA will schedule you for your Final Plan Review Meeting. This must be done to avoid scheduling conflicts.
 - a. The LCPOA office will retain a copy of Tehama County Plan Check Ready plans for the property file.
 - b. A \$2,000 Refundable Building Performance Deposit and a Non-Refundable Lake California Building Fee of \$7,822 per single-family; \$5,870 multi-family per unit are due at this time. A separate check for the Refundable Deposit and Building Fees are required. Once all fees are paid a Blue LC AC Permit Card will be issued from the LCPOA for posting at the site. Then you can start your building project.
 - c. If you plan to install a fence at the time of construction, a \$100 refundable fence deposit is also required.
3. A detailed landscape plot is required at this time.
 - a. A refundable Deposit of \$100 for landscaping is required.
4. Requirements needed at job site:
 - a. A 96-gallon trash can (for personal and small blowing trash) be on the jobsite and placed at the road on Wednesdays for weekly Thursday pick-up.
 - b. A sanitary facility/portable toilet is required at the start of construction.
 - c. All brush and stumps must be removed from member's lot before foundation is poured or within one (1) week after cutting, whichever is first.
5. Inspections. Your contractor should know the Tehama Country Inspection process. Lake California POA has the following required Inspections:
 - a. Roofing material and vent location inspection must be done before installing the roof.
 - b. Driveway forms are to be inspected for width verification a minimum of 26 feet at the street is required with saw cut edge, and flow line encroachment conformance to AC Guidelines, see Plot Plan/Landscaping Plan Example, shall be noted on Site Plan and confirmed by AC inspection. If a unique encroachment condition exists and Engineered designed may be required.
 - c. Sewer connection area must be backfilled with 3/8 minus reject material – this can be verified when material is on site.
 - d. Contact your AC Member or LCPOA for these inspections.
6. A copy of the Tehama County Occupancy Permit must be turned into the LCPOA Office. Contact your AC member or LCPOA to do a final inspection. The office will then mail a copy of Lake California POA's final allowing a 30-day period to finish any construction or trash removal and 60 days for landscape. When you have met all the requirements made by your AC Member, you may request your deposit refund.
 - a. Occupancy must not take place until Tehama County has issued the Certificate of Occupancy and the LCPOA has received a copy.

Note: See page titled Excavation Rules for Septic Systems if this is not a lot connecting to Rio Alto Water. Please contact Rio Alto Water District for information regarding water hook-up and sewer or septic provisions. Phone 347-3835.

FEE SCHEDULE

NEW CONSTRUCTION FEE SCHEDULE

Tehama County Fees

\$ _____

LAKE CALIFORNIA PROPERTY OWNERS' ASSOCIATION

	Single Family Home Per Unit	Multi-Family Home Per Unit
Building Fees	\$7,822.00	\$5,870.00 – 1 st unit
		\$5,870.00 – 2 nd unit
Refundable upon Completion (Separate Checks are Required)	\$2,000.00	\$2,000.00
Plan Check / Review	\$200.00	\$200.00
Fence – Refundable Performance Deposit	\$100.00	\$100.00
Total New Construction	\$10,122.00	\$14,040.00

REFUNDABLE DEPOSITS

Site Earthwork / Septic Tank	\$ 500.00
Dock Installation	\$ 100.00
Detached Garage	\$ 500.00
Shed over 120 square feet	\$ 500.00
Airplane Hanger	\$ 500.00
Swimming Pool	\$ 500.00

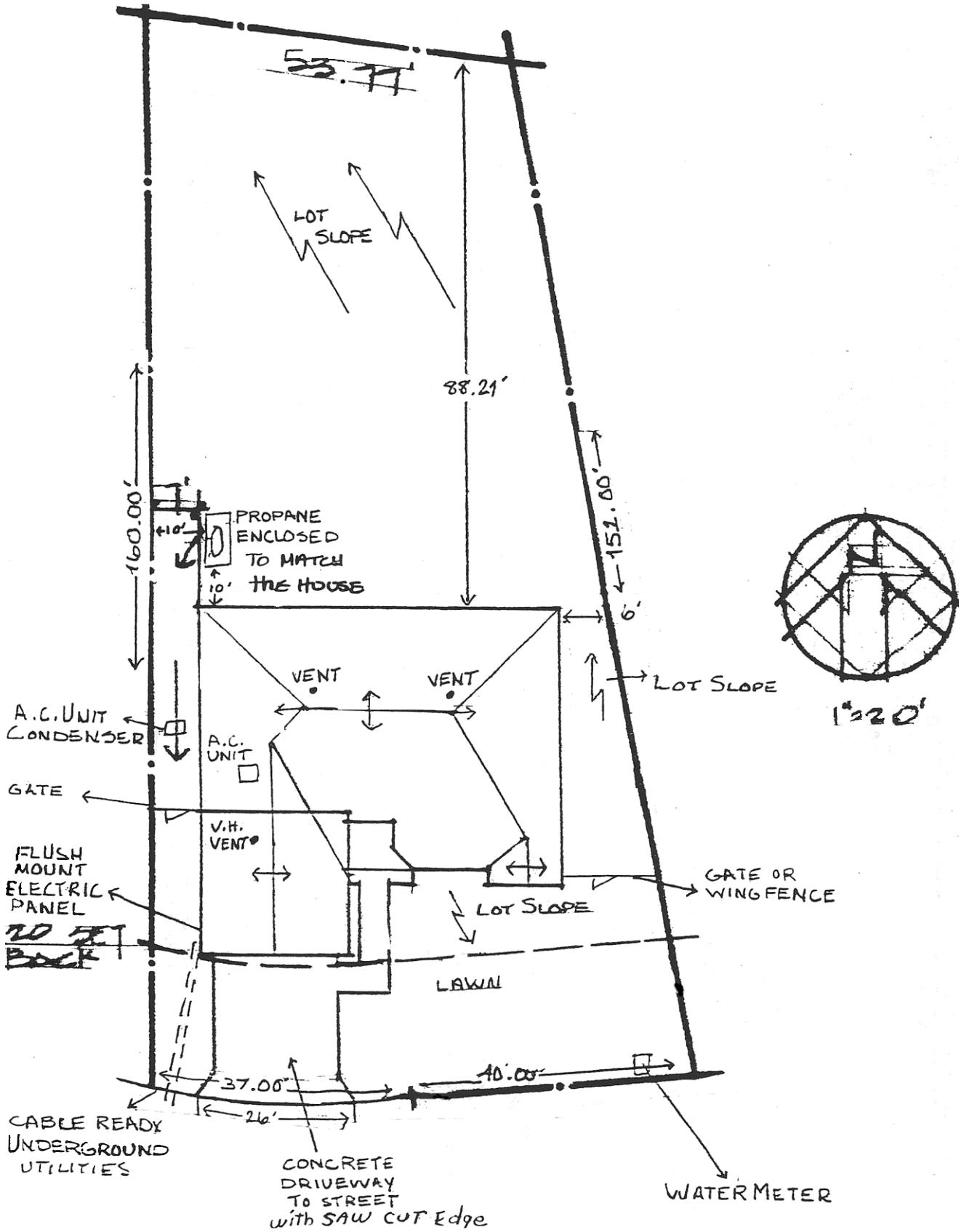
NOTE: Changing the Original Landscape is a form of Earthwork.

COMMERCIAL BUILDING FEES

Plan Review Fee	\$ 200.00
Performance Deposit (Refundable)	\$ 3,500.00
Building Fee	\$ 3,760.00

NOTE: Separate Checks required for both the Performance Deposit and Building Fee.

SITE PLAN WITH DRAINAGE



LOCATION OF LP-GAS CONTAINERS

3804.3 Container location. LP-gas containers shall be located with respect to buildings, *public ways* and *lot lines* of adjoining property that can be built upon, in accordance with Table 3804.3.

TABLE 3804.3 LOCATION OF LP-GAS CONTAINERS

LP-GAS CONTAINER CAPACITY (water gallons)	MINIMUM SEPARATION BETWEEN LP-GAS CONTAINERS AND BUILDINGS, PUBLIC WAYS OR LOT LINES OF ADJOINING PROPERTY THAT CAN BE BUILT UPON		MINIMUM SEPERATION BETWEEN LP-GAS CONTAINERS ^{b, c} (feet)
	Mounded or underground LP-gas containers ^a (feet)	Above-ground LP-gas containers ^b (feet)	
Less than 125 ^{c, d}	10	5 ^e	None
125 to 250	10	10	None
251 to 500	10	10	3
501 to 2,000	10	25 ^{e, f}	3
2,001 to 30,000	50	50	5
30,001 to 70,000	50	75	(0.25 of sum of diameters of adjacent LP-gas containers)
70,001 to 90,000	50	100	
90,001 to 120,000	50	125	

For S1: 1 foot = 304.8 mm, 1 gallon = 3.785 L.

e. The following shall apply to above-ground containers installed alongside buildings:

1. LP-gas containers of less than a 125-gallon water capacity are allowed next to the building they serve when in compliance with Items 2, 3 and 4.

2. Department of Transportation (DOT) specification LP-gas containers shall be located and installed so that the discharge from the container pressure relief device is at least 3 feet horizontally from building openings below the level of such discharge and shall not be beneath buildings unless the space is well ventilated to the outside and is not enclosed for more than 50 percent of its perimeter. The discharge from LP-gas container pressure relief devices shall be located no less than 5 feet from exterior sources of ignition, openings into direct-vent (sealed combustion system) appliances or mechanical ventilation air intakes.

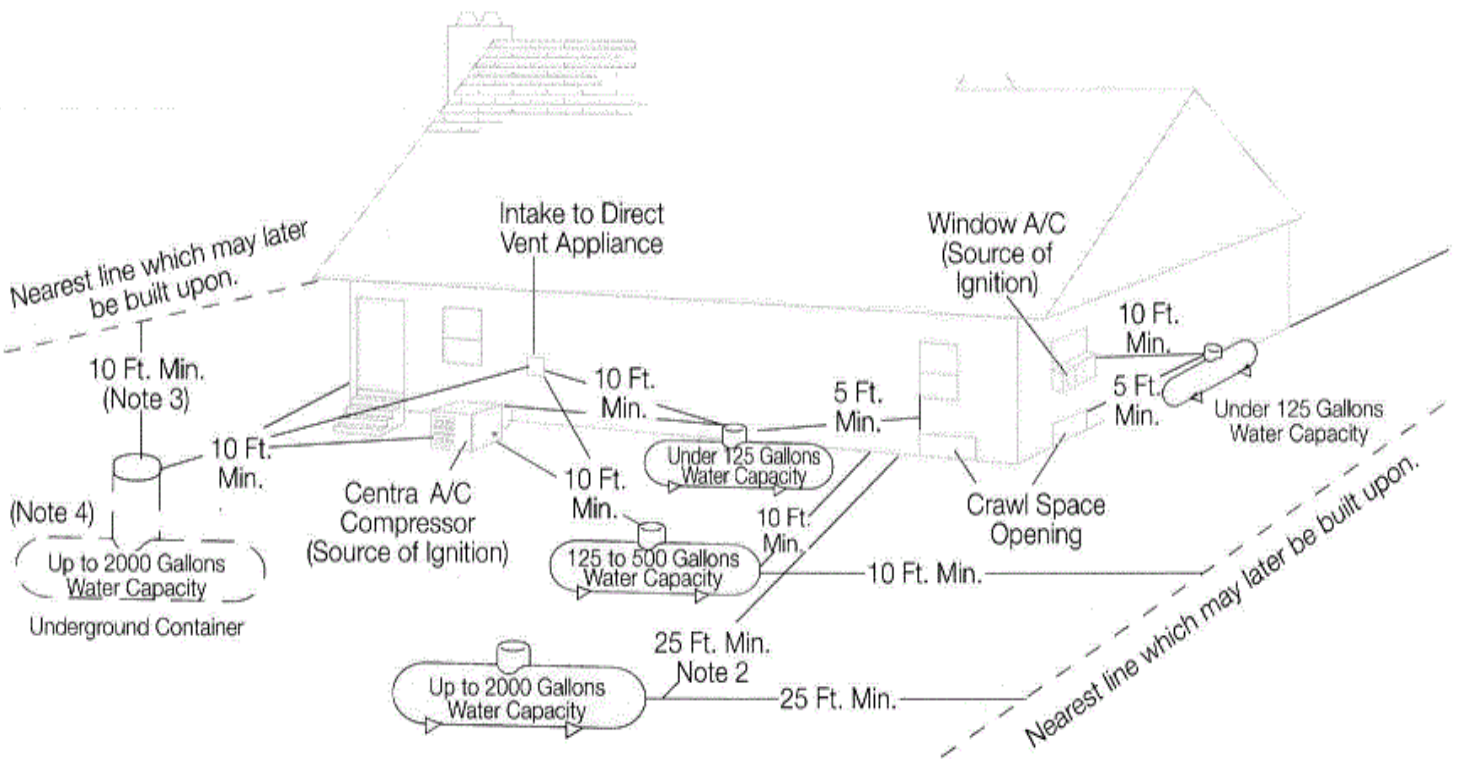
3. ASME LP-gas containers of less than a 125-gallon water capacity shall be located and installed such that the discharge from pressure relief devices shall not terminate in or beneath buildings and shall be located at least 5 feet horizontally from building openings below the level of such discharge and not less than 5 feet from exterior sources of ignition, openings into direct vent (sealed combustion system) appliances, or mechanical ventilation air intakes.

4. The filling connection and the vent from liquid-level gauges on either DOT or ASME LP-gas containers filled at the point of installation shall not be less than 10 feet from exterior sources of ignition, openings into direct vent (sealed combustion system) appliances or mechanical ventilation air intakes

Tehama County Requirements for Propane Tank Installation

These may be different than Tehama County and Fire Regulations

Note: Property owners shall obtain final installation information and permits from Tehama Fire/Cal Fire and Tehama County Building Departments for propane storage and distribution piping



POA will not be held Liabile for improper installation not approved by Tehama County Planning and County Fire Department

FUEL TANK INSTALLATIONS

Propane tanks:

Liquid propane tanks may be installed above or below ground. Above ground propane tanks must be set on concrete pads to the rear or side of the house and must be enclosed, have a trim cap, with vents at the bottom, and be finished to match house. Lattice is not acceptable around propane tank. The fuel riser must be inside the propane tank enclosure.

Underground propane tanks must have inspections, by the supplier, turned into the office annually.

Container Distance Requirements:

The distance requirements for propane tank locations are dependent upon the container size. Generally, the majority of tanks fall under a ten-foot rule with regard to buildings and houses. The standards and rules differ when locations such as playgrounds, parking lots, railroad tracks or other flammable materials are taken into consideration. Propane companies and professionals will ensure propane tank distance requirements are adhered to when installing a propane tank in any location. The graphic on previous page depicts common residential container distances required by the NFPA.

Property owners shall obtain final installation information and permits from Tehama Fire/Cal Fire and Tehama County Building Departments for propane storage and distribution piping.

Notes:

1. Regardless of its size, any tank filled on-site must be located so that the filling connection and fixed liquid gauge are at least 10 feet from any external source of ignition (i.e., open flame, window A/C, compressor, etc.), intake to direct vented gas appliance, or intake to a mechanical ventilation system.
 2. May be reduced to 10 feet minimum for a single container of 120 gallons' water capacity or less if it is located at least 25 feet from any other LP-Gas container of more than 125 gallons' water capacity.
 3. Minimum distances from underground containers shall be measured from the relief valve and filling or level gauge vent connection at the container, except that no part of an underground container shall be less than 10 feet from a building or line of adjoining property which may be built upon.
 4. Where the container may be subject to abrasive action or physical damage due to vehicular traffic or other causes it must be either a) placed not less than 2 feet below grade or b) otherwise protected against such physical damage.
- Fuel Oil Tanks, Kerosene or diesel tanks must be painted to match the house and set on a substantially safe stand. Fuel tanks should be defused from view with vegetation or other means. Lattice can be used in the diffusion of kerosene or diesel tanks.

EASEMENT DRAINAGE

Flow line Requirements with definitive flow lines:

A. The Builder, Designer and/or Engineer shall ensure the driveway and drainage encroachment meets the requirements set for the in AC “Driveway Approaches” section in this book. The requirements shall be confirmed by the AC Member inspection, upon scheduled request.

B. No cobble rock shall be placed in and between the flow line and the road edge.

C. Between the flow line and the road, the rock type should be 1 ½” leach rock with no fines. (Tract 1017 use 1 ½ inch Limestone only.)

D. Flow line must finish at optimum grade for the available conditions

1. Excavate dirt to flow line.
2. Place leach rock back to original flow line grade.
3. Industry standards and County requirements state 1/4-inch fall per running foot. It is not always possible to meet this requirement in many areas of LC community.

Owner / Builder will be responsible for optimizing available water flow and will be required to remove, replace or repair the easement if required.

SETBACKS

TEHAMA COUNTY ORDINANCE NO. 1456
Section 15.48.010 Established on August 1, 1989

- A. Building setback lines are established in the unincorporated area of the County along all public and private streets, roads and highways, including State Highways, are as follows: 50 Feet from the centerline of the road or 20 Feet from the exterior boundaries whichever setback distance is the greater.
- B. Wherever conflict occurs between the provisions of this Section and the yard provisions of the County Zoning Ordinance the most restrictive regulation shall apply.

A-V, C-1, C-2, R-1, R-2, R-3, and R-4 Tehama County Zoning yard setback requirements are:

1. Front yard: Fifty feet from the centerline of roadway or twenty feet from the property line, whichever is greater.
2. Side yard: Side yards shall total not less than twenty percent of the lot width, and no side yard may be less than six feet; three feet shall be added to each required side yard for each story above the first story of any building; the side yard on the street side of each corner lot shall not be less than ten feet.
3. Rear yard: Twenty feet or 25% (percent) of the depth of the lot, whichever is greater, from the rear lot line, or as established by Association Rule. Tract 1006 has a Board approved 20 feet rear setback for all lake lots that abut the lake. **That will be Twenty (20) foot past the Witness Pins OR "High Water Mark". No docks shall encroach into Lake California Common Area.**

Note: Decks are allowed to cantilever over the water a maximum of four feet (4 feet). Supports must be above the high-water mark. No permanent docks or cantilever objects on any lots that are adjacent to Indian Lake

4. CAL FIRE, Tehama County, or other governmental agencies can impose additional side, front, rear, or corner setbacks, vegetation clearance, LPG tank footage, and/or additional restrictions on doors, windows, eaves, roofing and siding materials.

On lots adjacent to the runway or taxi ways, all plans must comply with hangar clearance space on zero setbacks. They must also comply with the object free area which is 14½ feet from the edge of taxi lanes and 19½ feet from taxi way/right of way. See Airport Master Plan or for individual parcel information.

On August 30, 1996, LCPOA received communication from Tehama County Department of Building and Safety recognizing LCPOA Resolution 96-004 that gives lots adjacent to the airport runway a zero setback for hangars. A copy of the letter and Resolution is included in the office files of the following lots. 264-268, 443-446, and 449-452 in tract 1001, 297-312 in tract 1004, and lots 44-49 and 55 in tract 1013.

Per Tehama County Planning Department on 4/8/99: Applications for individual property line adjustment can be submitted and processed at the front counter. All adjustment requests must be approved by the county Planning Department.

HOUSE COLORS, ELEVATIONS, FRONT DOOR (S) & PELLET STOVES

The intent of the AC is to prevent exact duplication of colors in and around 250 feet in any direction and no home can be duplicated in and around 300 feet of sight in either direction. Home and color duplication to be determined by the Architectural Committee.

Exterior

1. **Colors:** Per the CC&Rs, base and trim colors should blend with those found in the immediate vicinity and colors found in nature will be favored. To avoid delay, submit your 1st and 2nd choice of colors with your plan submittal. Colors can only be rejected by a unanimous vote, with no less than four members of the committee voting.
2. **Elevation:** Exterior siding of any size to be used on any new structure in Lake California shall meet CAL FIRE and Tehama County Building standards when constructed in a Wildland Urban Interface (WUI). Note Tract 1006 is not in a WUI area.
3. The **front door** must be located in that portion of the house that faces the street. An offset or no full gable is required for a third garage.
4. **Foundation:** All foundations must be approved with the plan review. Building shall have a permanent foundation. Raised foundations shall be enclosed.
5. Service entrance for all utilities shall be under-ground with flush mounted electrical panel.
6. **Pellet stoves** cannot be vented in the front, visible from the street or a framed chase.
7. All homes will be single story unless terrain will permit a two story. Maximum building height is 35' (measured from centerline of street).
8. Plans for Airport Lot development shall be reviewed by the Airport Committee for conformance to height and setbacks relative to the airport runway. This review should take place prior to your initial meeting with the AC for preliminary review. Contact your AC Member or LCPOA for further details.
9. Exterior lighting shall be diffused, and flood lights enclosed or shaded to prevent glare.
10. Acceptable exterior siding materials are, stucco, brick, stone, concrete, metal, lapped hardboard, lapped hardy-plank or equivalent, cedar or redwood board and bat, and tongue and groove lap board

ROOF STANDARDS AND BUILDING MATERIALS

1. A primary pitch of 5&12 or greater with 18 to 24 inches overhang at eaves, except Tract 1006 minimum 6&12 pitch with 18-inch overhang at eaves and Tract #1017 minimum 7&12 pitch with 18-inch overhang at eaves. The only exceptions would be a variation by a registered architect. Roofline should have breaks (hips & valleys) or variation(s) in roofline heights. However, in addition to the minimum required "primary" roof pitch buildings may include secondary roof pitches for consideration, on a case-by-case basis. Secondary roof pitches would apply for porches and pop-outs, etc. Secondary roof pitch features without common eave lines with the primary roof will be given special consideration.
2. **Wood shingles** or shakes are **NOT** allowed due to fire risk. Asphalt, if used, must be approved architecturally designed 30-year minimum. Tract #1006 Lake Lots require tile shingles. Tract #1017 is 50 years. Class A.
3. **Gable ends**, (rakes) must be finished with a Ridge trim (i.e., Sierra) or other manufactured trim pieces (i.e. Shingle molding) Tract 1006 (Lake lots) requires tile. Tract 1017 see approved roofing.
4. **Vent pipes** must be on rear of buildings and painted to blend with the roof
5. **Chimney flues** (metal) must be boxed up to 12 inches from the top. Spark arresters are required
6. **Full fascia** 6 inches' seamless rain gutters and downspouts are standard (no plastic modular gutter or downspouts)

Exceptional designs with unique gutter systems will be considered on a case-by-case basis (i.e., Downspout chain in lieu of downspouts, full fascia/blind gutter or half round gutter systems)

Roofing Material List:

- a) Approved 30 year or more architectural design composition: Eagle – 30, 40, and 50 yr.; Elk Prestique I, II, & Plus; G.S. Roofing Products Inc. - Fire Halt; GAF Woodline - Class A Timberline; Owens Corning - Oakridge II; John Manville – Woodland; Hallmark - HM 30; Pabco Horizon and Pabco Premier.
- a) Timberline – GAF, IKO; Marlarkey.

Note: Gable ends (rakes) must be finished with manufactured trim pieces or a minimum 1 X 4 shingle molding.

Metal Roofing:

Submit brand name, non- reflective color, and ridge span.

Tile Roofing:

Tract 1006 requires tile roofing.

- (1) Classic Capri
- (2) Colonial Slate
- (3) Eagle
- (4) Espana Mission
- (5) Santa Fe Shingle
- (6) Sierra Shake/Super Shake
- (7) Monier

The Architectural Committee will consider simulated tile or new tile products that are comparable to the above approved tiles.

Tract 1017 requires a 50-year minimum composition, tile, or metal.

Not approved by Lake California:

- a) Three (3) Tab Shingles

ATTACHED & DETACHED GARAGES

Each living unit requires a minimum of 400 sq. ft. attached or detached two car garage which shall conform to the following rules.

ATTACHED GARAGES, SHOPS, STORAGE AND/OR UTILITY BUILDINGS (other than Metal Buildings)

- 1) Attached garages must have a design and materials of the same construction as the living unit.
- 2) If a third garage is part of the design and construction, a two (2) foot minimum offset is required for such third garage from the living unit.

DETACHED GARAGES, SHOPS, STORAGE, AND/OR UTILITY BUILDINGS THAT REQUIRE A TEHAMA COUNTY BUILDING PERMIT

The following rules apply to all detached garages, shops, storage and/or utility buildings that require a Tehama County Building Permit (hereinafter a “Detached Building(s)”):

- 1) Tehama County Planning and Building Plan Check ready plans for the Detached Building are required for AC Review and Preliminary Approval.
- 2) A Five Hundred Dollar (\$500.00) refundable construction deposit must be paid to the AC prior to the start of construction of any Detached Building.
- 3) Owner/Contractor is required to attend a Plan Review for any Detached Building that exceeds 120 square feet.
- 4) Owner/Contractor has one six (6) months to complete construction and final permitting of the Detached Building.
- 5) Any Detached Building located at the rear or side of a living unit must be built as described herein:
 - a. The construction of the exterior of the Detached Building may be of any Tehama County approved product other than reflective materials.
 - b. If metal is used in construction of the Detached Building, it must be an AC approved baked on enamel and may not be reflective.
 - c. The color of all walls, trim and roof of any Detached Building must match the living unit on the property.
 - d. The roof of the Detached Building must be a 5 & 12 minimum pitch unless otherwise stated below.
 - i. Tract #1006 Detached Buildings must be 6 & 12 minimum pitch.
 1. Tract #1006 Detached Buildings must have a tile roof of the same make and style as the living unit on the property.
 - ii. Tract #1017 Detached Buildings must be 7 & 12 minimum pitch.
 1. Tract #1017 Detached Buildings must have a metal, tile or minimum 50-year architectural composition roof of the same make and style as the living unit on the property.
 - e. The fascia of the Detached Building must be full and must match the living unit on the property.
 - f. The eaves of the Detached Building must have a 18” to 24” minimum overhang on rake and eaves, and must match the living unit on the property.
 - g. Eyebrow or ridge vents are permitted on the roof of the Detached Building.

ATTACHED & DETACHED GARAGES CONTINUED

- h. The Detached Building height must conform to current Tehama County regulations. Owner/Contractor is required to confirm that the height of the Detached Building follows Tehama County building regulations.
 - i. If the Detached Building at issue is a third garage, such garage must have a two (2) foot offset from the living unit.
 - j. Any installed garage doors on the Detached Building must have top panel windows.
- 6) Any Detached Building that faces a street from the front, side or rear of the property must be built as described herein:
- a. Architectural Design, materials and colors of the Detached Building must match existing structures on the property.
 - i. If the exact same materials are not available at the time of construction, Owner/Contractor must provide the AC with comparable samples to confirm that such materials are comparable to the existing structure.
- 7) Detached Buildings on residential lots are not to be used for commercial purposes.
- Temporary tarp and plastic, PVC or ABS tube structures are not allowed at any time for use as utility or storage.

DETACHED METAL BUILDING

The following rules apply to all Metal Detached Building (Metal Walls and Metal Roof) that require a Tehama County Building Permit (hereinafter a “Metal Detached Building”):

- 1) Tehama County Planning and Building Plan Check ready plans for the Metal Detached Building are required for AC Review and Preliminary Approval.
- 2) A Five Hundred Dollar (\$500.00) refundable construction deposit must be paid to the AC prior to the start of construction of any Metal Detached Building.
- 3) Owner/Contractor is required to attend a Plan Review for any Metal Detached Building that exceeds 120 square feet.
- 4) Owner/Contractor has six (6) months to complete construction and final permitting of the Metal Detached Building.
- 5) Any Metal Detached Building located at the rear or side of a living unit must be built as described herein:
 - a. Metal used in construction of the Metal Detached Building must be an AC approved baked on enamel and may not be reflective.
 - b. The color of all walls, trim, doors, and roof of any Metal Detached Building must match the living unit on the property.
 - c. Metal Detached Building must be enclosed completely.
 - d. Metal roofs are allowed on Metal Detached Building in all community Tracts. Roofs should follow the pitch lines of the current home and have eaves (no rounded roofs).
 - e. Eyebrow or ridge vents are permitted on the roof of the Metal Detached Building.
 - f. Support posts of the Metal Detached Building should be no longer than 12’ which would accommodate a 10’ door. The overall height of the Metal Detached Building should not exceed 16’. Should additional height be required it must be approved by the AC Committee, the Board of Directors, and letters of approval from any adjoining property owner. The Metal Detached Building height must also conform to current Tehama County regulations. Owner/Contractor is required to confirm that the height of the Metal Detached Building follows Tehama County building regulations.
- 6) Metal Detached Building may be up to 1200 square feet in size (excludes aircraft hangers on airport lots – see aircraft hangar guidelines).
- 7) Metal Detached Building on residential lots are not to be used for commercial purposes.

CARPORTS, CAR COVERS, SHADE STRUCTURES AND GAZEBOS

1. Prior to beginning a project, the LC AC must receive an alteration or additions request, **before purchasing any materials/products**. This includes current structures and shade structures.
2. CAL FIRE periodically does home/property inspections and **recommends** a setback of 8' from any dwelling with clear ease to access yards for fire safety and protection of habitable dwellings. Any structure should withstand winds up to 85 m.p.h.
3. A Tehama County Building Department permit may be required depending on its size. All structures/gazebos must be of permanent nature placed in the rear or side yard of the house and defused behind a 6-foot fence. Pop-up shade protection is allowed for special events not to exceed 12 hours.
4. Materials allowed for support posts are a minimum of 4" x 6" wooden posts and/or any type of heavy-duty metal and painted to match the house color. All metal and wooden shade structures must be attached to concrete footings/pads to avoid flying debris during high wind days. The roof of the structures must be wooden, fire-resistant shingles or non-reflective metal and match the roof color of the house. Maximum height of 16 feet and gabled roof style, (not rounded). Any heavy-duty canvas material, which is fitted and designed for that purpose must be replaced when it becomes worn/torn.
5. Structures must be maintained to not become unsightly, i.e.: painting, chipping, or peeling.
6. Unacceptable materials: PVC pipes, tarps T1-11 plywood panels or material considered to be temporary in nature.

LANDSCAPE STANDARDS AND REQUIREMENTS

New construction landscape plans must be submitted during your meeting to approve your final plans with the AC. Approved landscaping must then be completed within 60 days after occupancy approval from county. If you cannot finish in this time frame the AC can extend another 60 days, however, any further time allowed can only be granted by the Board of Directors.

If you are new to the area be aware of challenging growing conditions. Lake California is a Zone 9A with water restrictions set forth by Rio Alto Water and the State of California. Property owners wishing to consider alternatives to the AC standard of 1/3 lawn are encouraged to do so. An effective alternative may include 1/3 of the front yard (20' set back) area planted in a low growing green plant stock (The LCPOA and your AC Member has alternative approved drought condition landscaping options available. You can also check with the local nurseries) Consideration should also be given to the unique growing needs of plants in Zone 9. New standards of artificial grass will be considered on a case-by-case basis.

1. Lack of nutrients in the soil and extreme changes in temperatures (19 - 114° F) may affect your plants and lawn. Automatic watering systems such as timed sprinklers shall be drip or micro spray systems. You may want to consult with local garden and/or plant nurseries for advice. You may also want to consider plants that deter the protected animals. In all landscaping, please follow the Rio Alto Watering Restrictions that are currently in place.
2. Landscape plans must adhere to property lot lines.
3. Irrigation with potable water outside newly constructed homes and buildings that is not delivered by drip or micro-spray systems is prohibited. This is a California Mandate.
4. Diagram of Front and Side yards: Include any existing trees and shrubs, also indicate location of any new lawn, plants, trees, flowers and sprinklers or approved watering system.
5. The amount of rock, bark, fir, or other types of non-plant groundcover, excluding the easement rock, is to be no more than 1/3 of the project. Landscape fabric is required to aid in the control of weeds, if rock, bark, landscape fir, or similar ground cover is used. No White Rock. The remaining landscape is to be no less than 1/3 vertical Green measured at maturity. **Note:** When using groundcover, specify type.
6. Minimum trees: (2) each of 5-gallon size - example, maple or birch. Minimum shrubs: (7) each of 1-gallon size - example, Oregon Grapes or Junipers.
7. Side yard landscaping, to the far corner of the house, is required unless wing fencing is installed with the initial construction. (Not applicable on tract 1006 lots adjacent to the lake or airport lots.) If the side yard is to be used for parking or storage, it must be screened.
8. Easement area: (From pavement edge to front property pins) From the water Flow line to the road you MUST use 1 ½ inch Leach Rock Rocks cape, (rock or gravel) or other appropriate (non-permanent) landscape must be completed over the rest of the easement area and be maintained as part of the yard. (1017 use 1 ½ inch Limestone only.) **Note:** Large shrubs and/or yard trees must maintain a 3' distance from the water meter as it must remain fully accessible for monthly readings by the Rio Alto Water District. Utilities have the right to excavate the easement area, if there is planting or landscape damage, it must be replaced or repaired at the owner's expense.
9. Blank walls on the front of a house, that measure 14 feet or more, are to be diffused with a trellis, shrubs, or other form of appropriate landscaping. (Thoroughly indicate on landscape plan.)
10. Hedges that border streets are limited to 3 feet in height (Tehama County Requirement)
11. Lake lots abutting the lake must be completely landscaped. Show front, back, and sides on plan. **Note:** Lots on Indian lake may not be landscaped past rear property line. Removing the habitation could result in fines of \$250 – \$1500 depending upon severity.
12. Airport lots must be completely landscaped except inside fenced areas. (Show front, back, & sides on plan.) Lots that abut feeder taxiways must have an automatic underground watering system for grass, groundcover, trees, and shrubs. The 14 ½ foot clear-zone adjacent to the taxiway may be rock, concrete, asphalt, grass or low green groundcover and be kept clear of weeds, rubbish and debris.

Note: See item 6 of AC

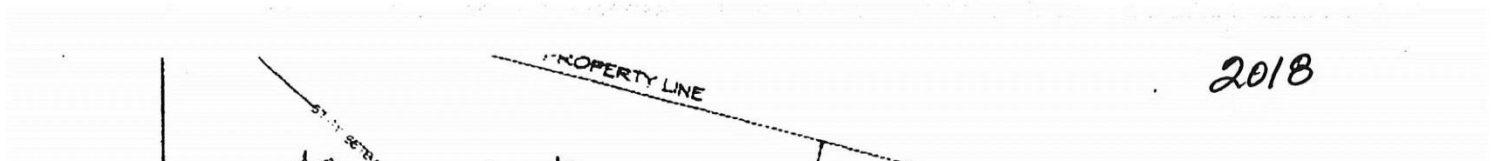
LANDSCAPE STANDARDS AND REQUIREMENTS CONTINUED

13. When using rock, bark, or ground cover, it is required that you use an underlayment of Landscape Fabric. This will aid in the control of weeds and overall general maintenance and appearance. A substantial Border Material must be used to contain rock, bark, fir, or other ground cover. (except in POA easement areas)
14. All improvements must be maintained, whether the dwelling is occupied by owner, rented, or vacant. It shall be kept in a condition compatible with the original approved plan and not allowed to become unsightly by reason of unattractive growth, weeds, dying plants or lawn, or the accumulation of rubbish or debris on the landscaped lot.
15. Keep in mind that concrete mow strips and other permanent non-plant borders tend to eventually stifle the artwork in progress. There's no easy answer for when a lawn portion contained by a mow strip looks habitually pathetic, or when exuberant shrubs bolt beyond a brick-and-mortar border.

Note: Special attention should be made to avoid disturbing the root system of native oak trees. This can be accomplished by NOT putting plastic and rock too close around the base of the trees. Certain types of California Oak do not require watering. In some cases, water can damage the trees.

11.1

LANDSCAPE STANDARDS AND REQUIREMENTS CONTINUED



Example for Plotting Landscape Material

Landscape Calculation

Plan table Area:	2,073 sq. ft
Tree Credit (3):	<756> sq. ft
Subtotal:	1,317 sq. ft
Plant .33	435 sq. ft
1 Gallon Plants	48 ea.

Plant Stock

5 Mature Native Oak Trees (existing)

48 (1 Gallon Plants as Follows):

- **Bottle Brush**
- **Rosemary**
- **Lavender**
- **Juniper Prostate**
- **Alternate (Warm Land Grasses)**

Balance of planting area shall be covered in river rock and cedar freeway bark

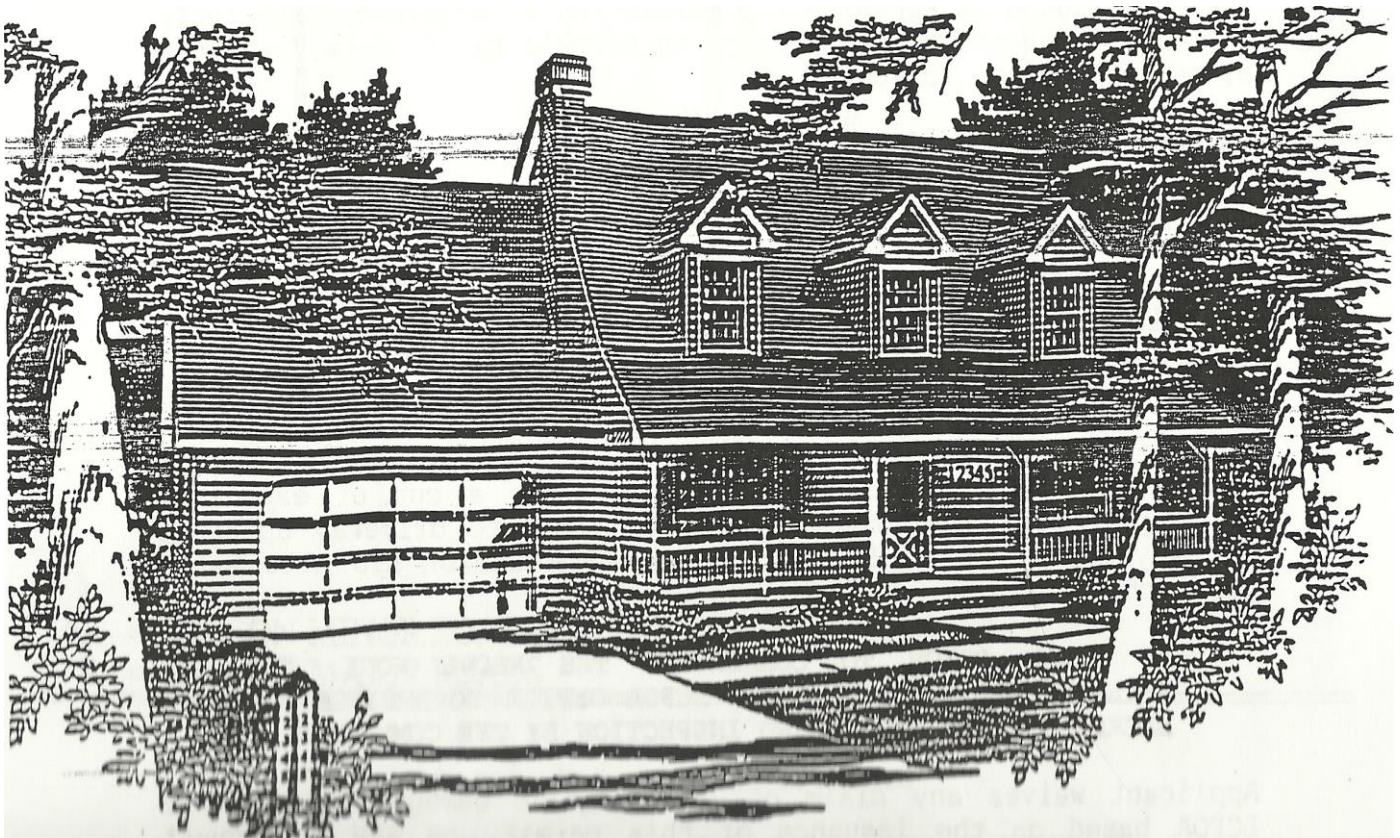
11.2 (revised 08/21/18)

HOUSE NUMBERS

House numbers are required to assist emergency responders in locating the correct address:

1. Typically, CAL FIRE requires a minimum 4-inch reflective numbers on both sides of a 4 x 4-inch post located at the driveway and property line connection.
2. Lake California requires minimum 4-inch numbers on the house.
3. All multiple units must have minimum 4-inch numbers that are visible from the street and each unit must be individually identified. That is: A, B, C, as needed, listed from left to right.
4. In conditions where house numbers are not visible from the street, reflective 4-inch minimum numbers must be placed on both sides of a 4 x 4-inch post located at the driveway and property line connection.

Note: Be aware that CAL FIRE views each situation on an individual and practical basis. They may require both house and post numbers.

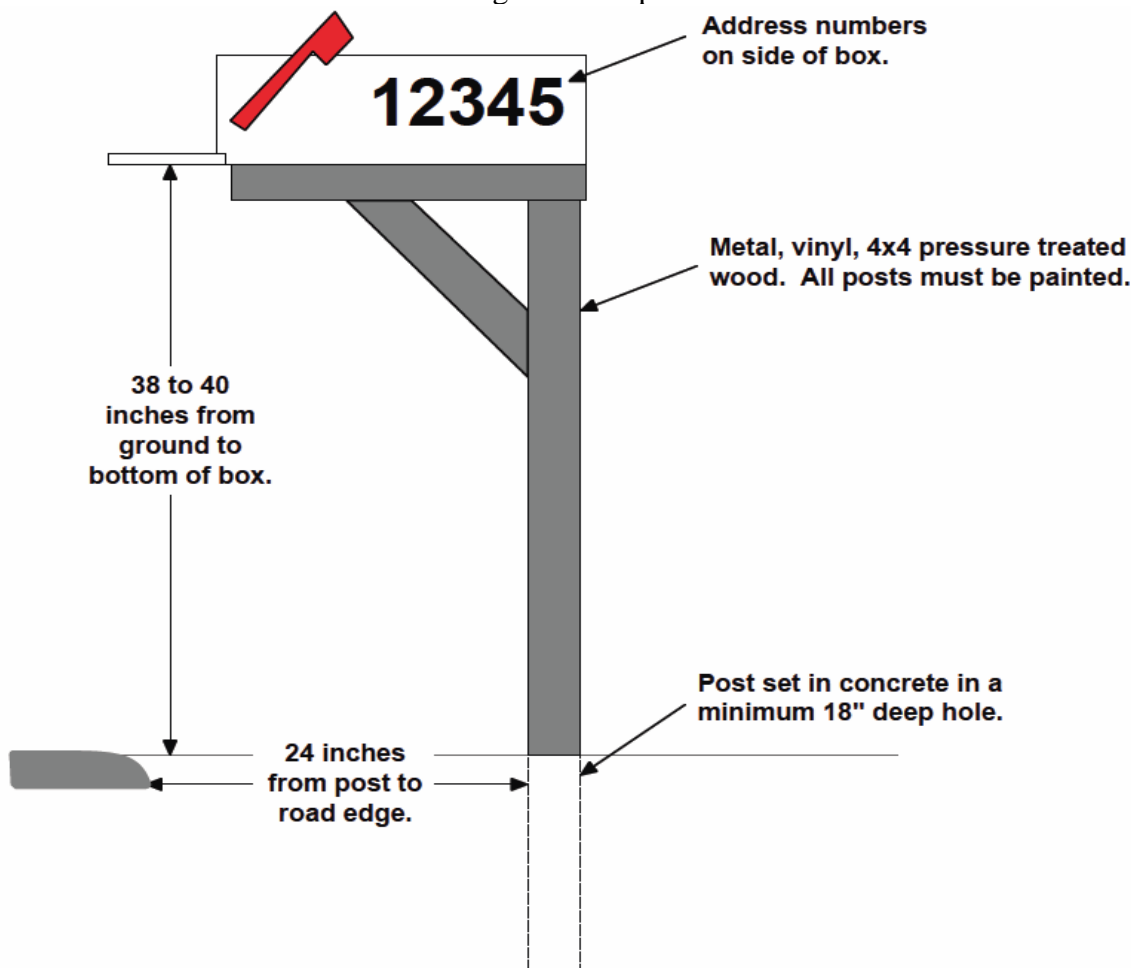


NOTE: Post with House numbers and Numbers to the right of front door.

MAILBOX STANDARDS

Refer to the sketch below. Lake California Mailbox standards are as follows:

- A. 18-inch hole with cement for post.
- B. 4x4 inch post can be any color.
- C. All post must be decorative pressure treated wood, vinyl, or metal.
- D. Posts must be a maximum of 24 inches from edge of pavement.
- E. All posts must be painted.
- F. All decorative bases such as brick, stone or owner design must come through the AC committee.
- G. All inquiries that deviate from the mailbox standards should be directed to the Cottonwood Postmaster at the following number 347-3342
- H. Side of box that has view from the road needs street address.
- I. Inside flap should have last name.
- J. Businesses such as the market, Vintage Reality, and Lakeside Pizza are allowed locked boxes. No exceptions for home businesses.
- K. Height from ground to bottom of box is to be between 38 – 40 inches.
- L. Homes build in Tract 1017 have cluster PO Boxes and will be charged \$120 per unit by the POA.
- M. Concrete Barrels or Barrels above ground are prohibited.



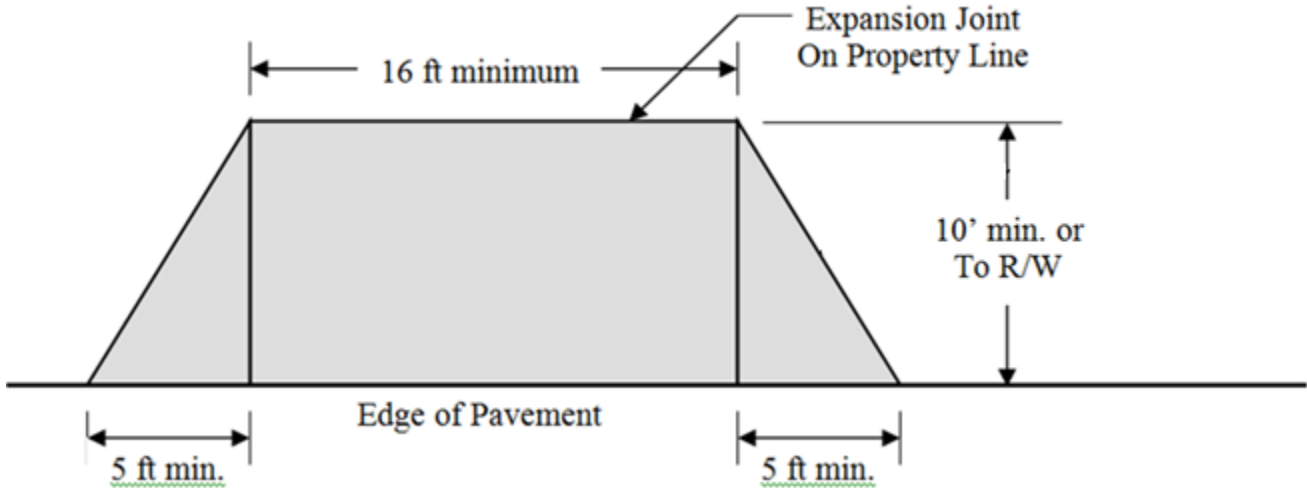
NOTE: Concrete barrels above ground are prohibited.

DRIVEWAY APPROACHES

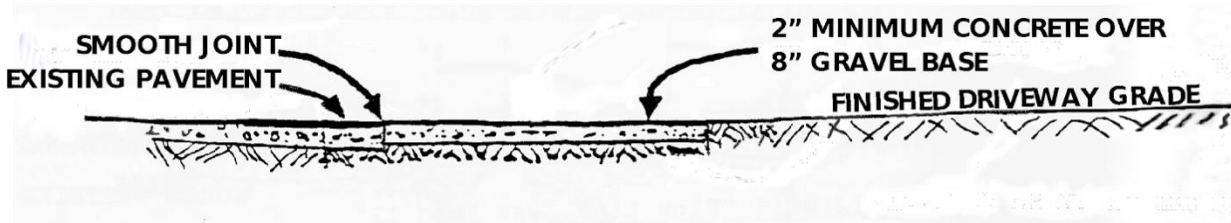
Note: All approaches shall be inspected by AC member before concrete is poured.

Standard Approach A:

Applicable when “flow water” will not become restricted (As on the crest of a hill). Where there is no “flow line” or where water will drain in both directions.

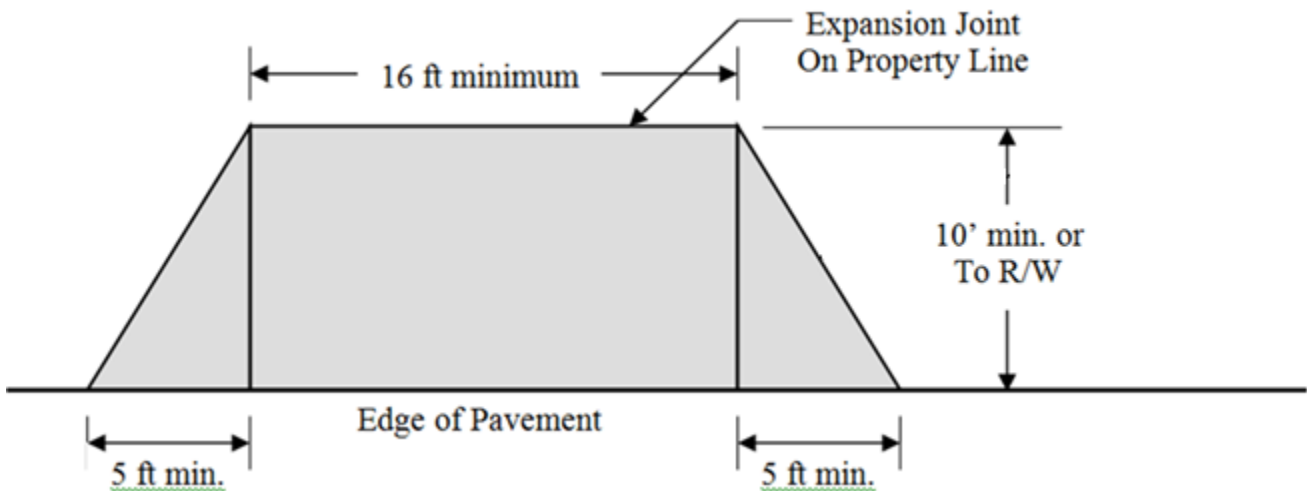


On three car drive ways the 5 foot wing is not needed. Pavement edge of driveway is to be saw cut.



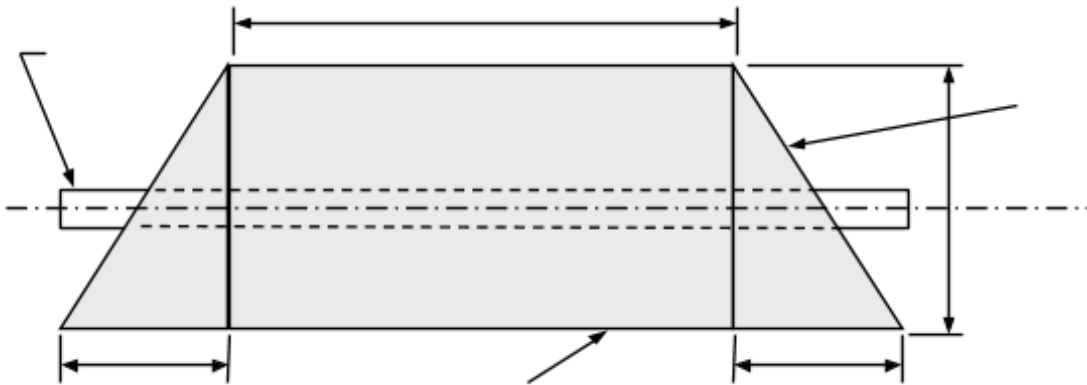
Standard Approach B:

Applicable when “flow water” ditch or swale is less than 12” below street and driveway finished grade



Standard Approach C:

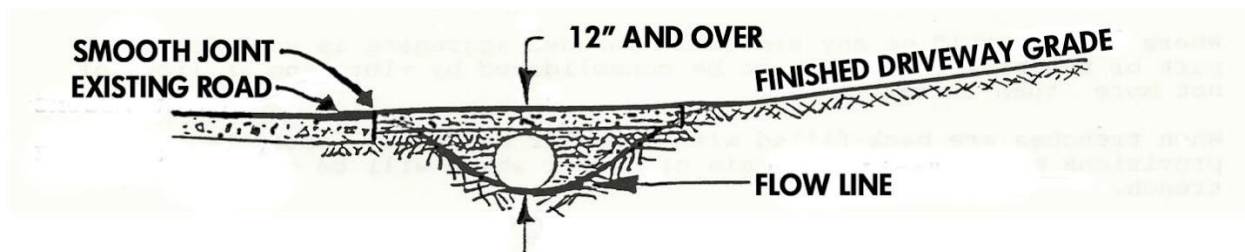
Applicable whenever “flow water” ditch or swale is greater than 12” below street and driveway finished grade. The culvert size is to be determined by the engineer to reflect the expected flow.



Edge of Pavement
Saw Cut Edge

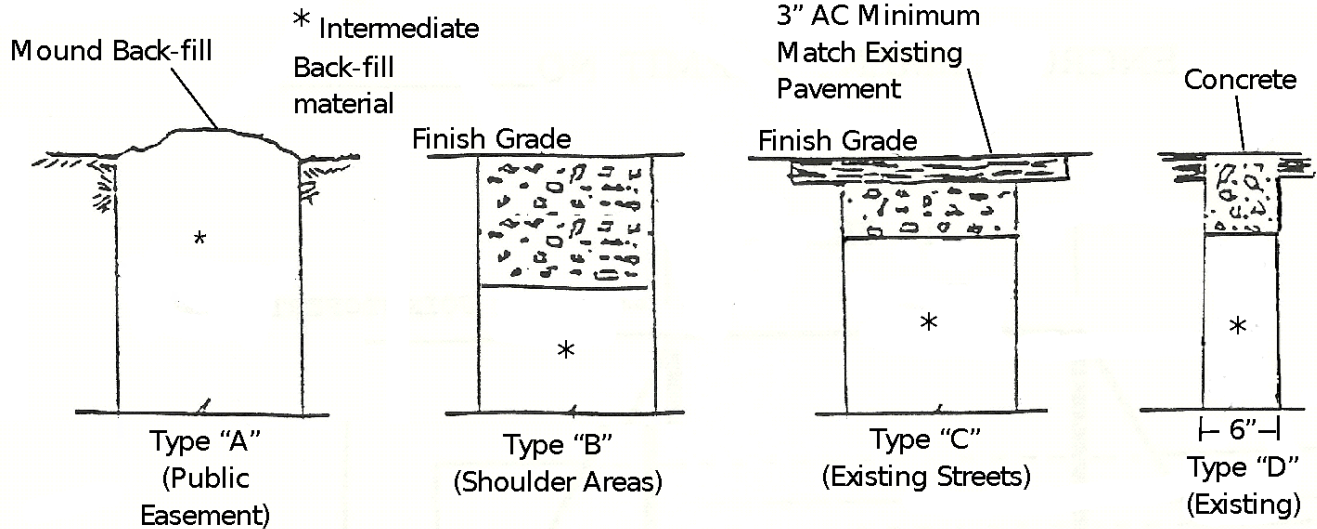
16 ft. minimum

- 5 ft. min
- Flow line
- 5 ft. min
- Expansion Joint
- On Property Line
- 10' min. or to R/W
- R = 10' on minor road
- R = 20' on major road
- Culvert



STANDARD TRENCH DETAILS

MATERIAL AND COMPACTION REQUIREMENTS FOR TRENCH BACK-FILL:



Notes:

1. Trench edges shall be a clean saw cut.
2. Pipe bedding material shall conform to requirements of the utility having jurisdiction over the installation and shall also meet the requirements of the standard specifications.
3. Intermediate back-fill shall be imported granular material. (3/8" minus reject) Relative compaction shall be at least 90%.
4. Class 2 aggregate base shall conform to the standard specifications; minimum relative compaction shall be 95%. Base shall be placed and compacted prior to placing of temporary paving.
5. Where suitable material is used, intermediate back-fill may be compacted by means of jetting, provided that the material is compacted in layers no more than 3 feet in depth.
6. Where "pea gravel" or any similarly rounded aggregate is used for any part of the back-fill, it must be consolidated by vibrating in lifts of not more than 3 feet.
7. When trenches are backfilled with granular materials, adequate provisions must be made to drain off water which will be collected in the trench.
8. Contractors will shore all trenches in conformance with state safety statement.

Note: See LCPOA Encroachment Permit Details.

All screening and fence applications must be approved by the Architectural Committee prior to installation. Fence Projects must be completed in 60 days (weather permitting). Temporary plant protection fencing, including electrical, is allowed without committee approval as long as it is inconspicuous and/or blends with surroundings.

Note: A \$100.00 refundable performance deposit is required on all fence applications. The deposit will be returned after the final fence inspection by the AC.

Posts must be set in concrete (one bag per hole).

1. Post holes for a wood fence or slatted chain link fence shall be on 8 feet maximum centers. 10 feet centers are allowed for open chain link fences. No front yard chain-link fences allowed.
2. Post holes for solid fences will be no less than 2 feet deep. 18 inches will be allowed for open chain link fences.
3. Posts must be set in concrete (one bag per hole).
4. Front yard fences and hedges shall not exceed 3 feet in height and post holes must be ½ the height of fence.
5. All fences must be within the property boundary pins of the property.
6. Side or rear fencing shall not exceed 6 feet in height. Side fencing on lake lots, that back up to water, cannot extend past the rear witness pins. On the lake, side fencing beyond the house may not exceed 3 feet in height.
7. In tract 1017, for all lots that back up to River View Drive, a 6-foot white vinyl fence with 6 inch vertical slats are required on the rear property line.
8. The only fencing allowed on a lot line adjacent to the lake is Wrought Iron, which would be required to protect a pool.
9. All wood fences must be constructed with three horizontal rails.

ACCEPTABLE FENCING:

1. Picket, grape stake, masonry, wrought iron, and vinyl fencing materials are acceptable.
2. Chain link fencing is acceptable with top support rails for rear yard only.
3. Good Neighbor - dog-eared reverse panel or other type of good neighbor.
4. Welded wire in frame - corrosive resistant heavy-duty wire with top and bottom boards
5. Lattice in frame – heavy duty lattice and it must be reinforced.

SCREENING:

Screening shall be as follows:

1. Chain link will be 100% slats for screening.
2. Vinyl lattice: No greater than 1 ½ inches spaces and must have top and bottom rails with 8-foot post.
3. 6-foot fence from the ground up.

UNACCEPTABLE FENCING:

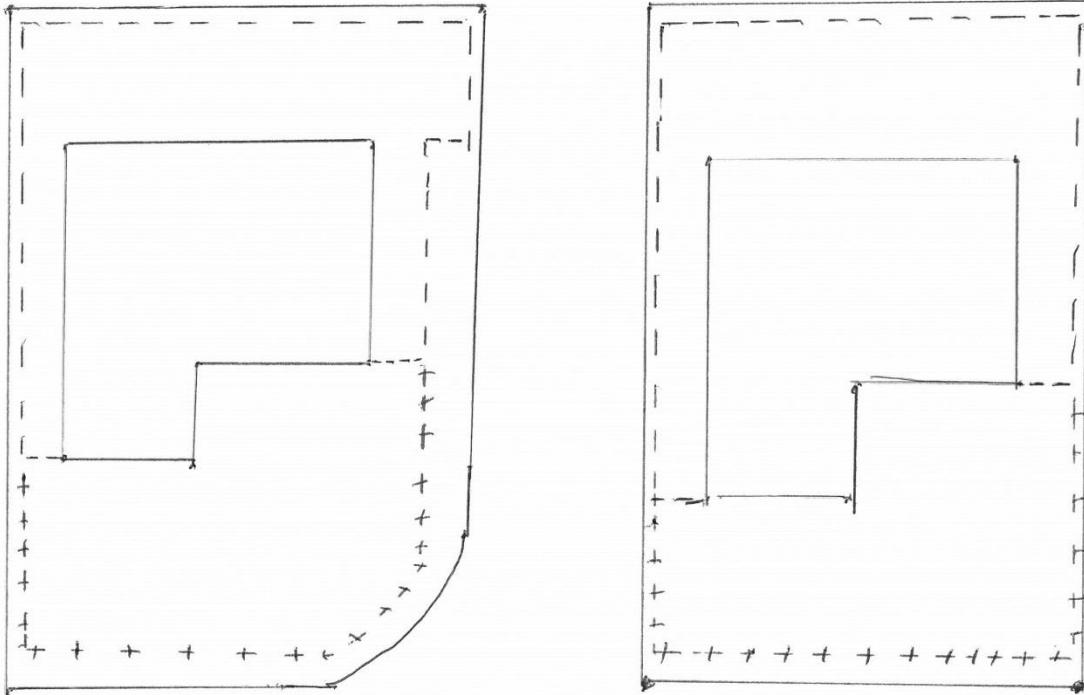
Triangular Metal Posts (T-Posts) with hog, chicken, or cattle wire is not acceptable for perimeter fencing.

Note: Due to the numerous styles and materials available in fencing, if your choice is not listed above, you may present your idea to the Architectural Committee for review and consideration.

CORNER LOT FENCING

All fences must be within the property lines.

There must be a 6-foot set back on the side yard fences, corner lots will have a 10-foot set back on the street side. The fence height will be 6-foot for the side and rear yard and 3-foot for the front of the house and the street side on a corner lot.



Legend:

-- 6-foot fence

++ 3-foot fence

16.1 (revised 08/15/17)

LOT COMBINATIONS

The Architectural Committee shall have the discretion to permit a property owner to combine two or more lots owned by that property owner as stated in the Articles of Declarations "Lot Combinations".

Whenever two or more contiguous lots shall be owned by the same person, and such person shall desire to use two or more of said lots as a site for any permissible use, he or she shall apply in writing to the Architectural Committee for permission to combine the lots. If written permission of such a use shall be granted, the lots constituting the site for such permissible use shall be treated as a single lot for the purpose of applying this declaration to said lots, so long as the lots remain improved for a permissible use. If a lot combination is approved by the Architectural Committee, the owner shall nevertheless remain responsible for securing all requisite governmental approvals prior to commencement of construction.

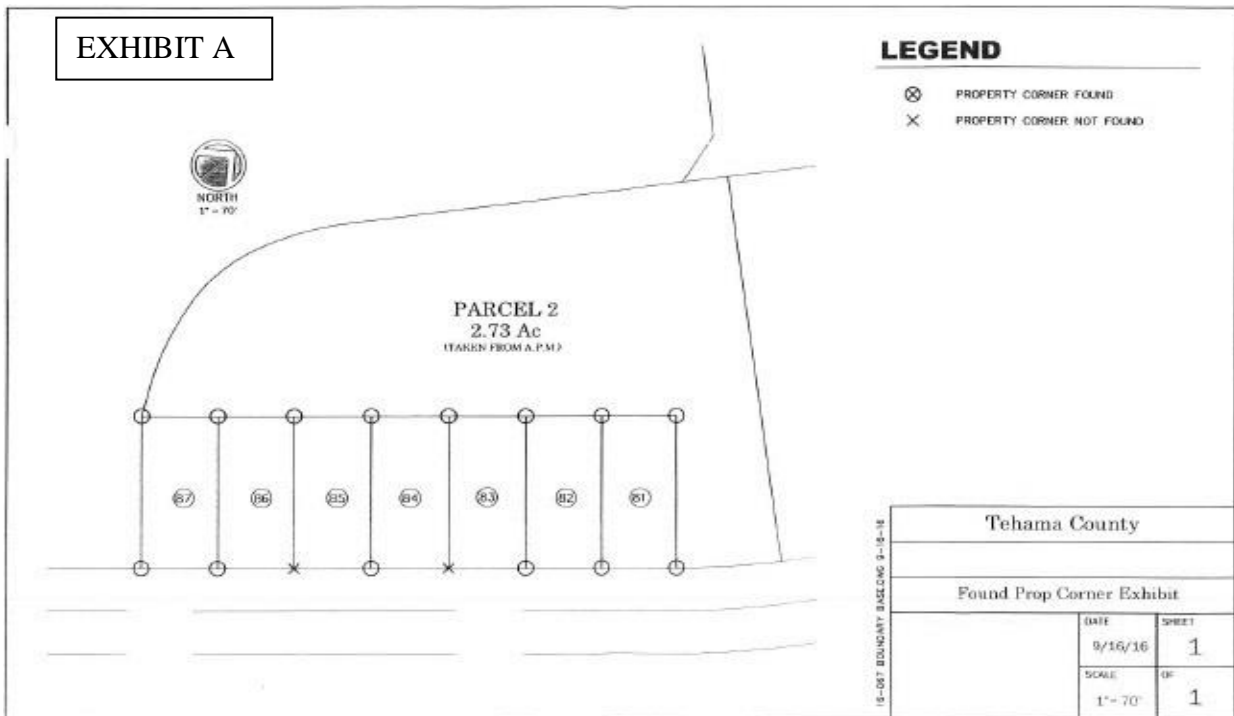
"PERMISSIBLE USE" (minimum standards) to combine a contiguous lot and make it your front (20' setback), side, and/or rear yard, conforming to current landscape requirements. This would involve delineating the entire lot with a hedge, row of trees, plants and shrubs, or Architectural Committee approved fence. Combination lots must be maintained and appear as one lot.

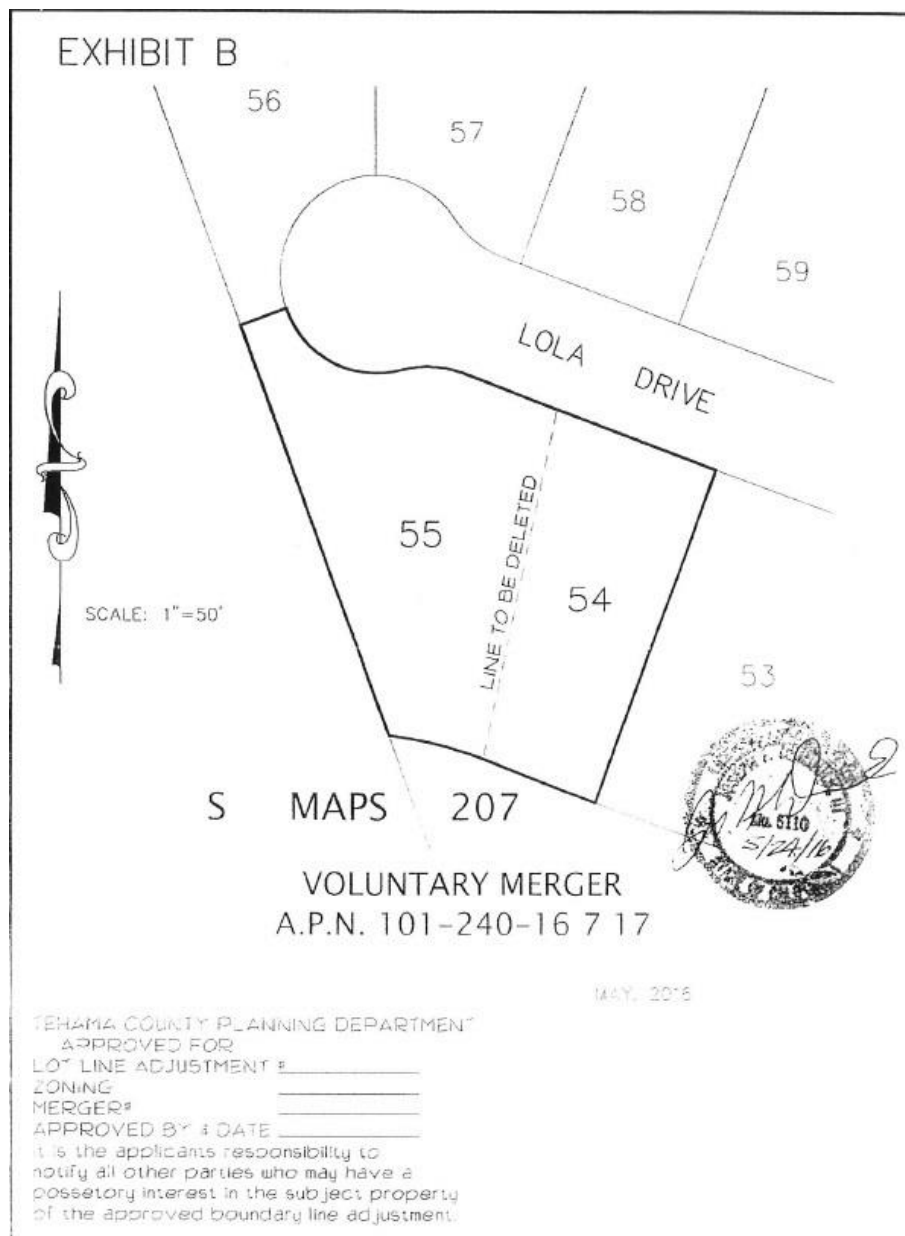
LC Architectural Committee has 45 days of the written request to review and approve recommendation of a lot combination. After Architectural Committee approves the recommendation, the request then goes to the LC Board for approval. Then the application for merger should be made to Tehama County with the LCPOA approval stamped application. Owner then returns the Tehama County review and approval letter to LCPOA office.

The disapproval of a lot combination may be appealed to the Board of Directors.

STEPS TO FOLLOW FOR LOT COMBINATION APPROVAL:

1. Application form and/or letter to the Architectural Committee with a plot plan of the lots involved, all existing buildings and any proposed improvements with a separate landscape plan. The reason for the lot combination must be in the request. * See two acceptable plot plan formats below *





2. After Architectural Committees' recommendation, the LC Board will vote to approve.
3. An application for merger should then be made to Tehama County.
4. The County Building Department will be looking for LC AC stamped and signed approval.
5. After county approval and new parcel number with documentation of the new parcel map, the information must then be presented to the Architectural Committee to place in the office file.
 - a. Proceed with improvement plans through the Architectural Committee and obtain final combination inspection when improvements have been completed.

Note: All improvements must be completed, to the satisfaction of the Architectural Committee, before July 1st to be assessed as one lot for the next year.

EXCAVATION RULES FOR SEPTIC SYSTEMS, PERK TESTS AND EARTHWORK

NOTE; when not in conjunction with New Builds

1. Property Owner will be issued a Yellow Lake California permit. The deposit will be refunded after the lot has been restored and AC final inspection performed. Copies of the Tehama County Excavation, Tehama County Environmental Health, and Building permit are required prior to starting the work.
2. The LCPOA office must be notified in writing 2 working days prior to excavations. The shape, size and location of the holes must be specified.
3. Required protection of open holes:
 - a. Hole(s) must be completely covered plus an additional minimum of 6 inches at all points around the hole.
 - b. Cover must support a minimum of 200 lbs. and require a lifting force of at least 50 lbs.
 - c. An acceptable alternate is a secure full perimeter fence at least 2 feet away from the edge of the hole, and a minimum 6 feet high with mesh openings not to exceed 3 inches.
4. **BACK FILL REQUIREMENTS:**
 - a. Failed holes must be filled within 24 hours of County rejection.
 - b. Approved holes must be filled within two (2) working days and property restored to the original state. Excess dirt piles must be removed within 5 working days. (Stock piling in Lake California is prohibited.)
5. Due to safety of the community, failure to comply with the above rules additional fines may be imposed if deemed necessary.

SITE EARTHWORK SPECIFICATIONS

NOTE: Excluding Septic Systems & When Not in Conjunction with New Builds

1. Site earthwork shall include all activities associated with excavating, filling, and backfilling of all materials required for basements, foundations, slabs on grade, and any other new construction items. A copy of the Tehama County Building permit is required prior to start of work.
2. A \$500.00 (per lot) deposit is required prior to the start of any earthwork. A yellow permit will be issued after receipt of deposit. The deposit will be refunded after excess dirt has been removed and acceptable architectural committee inspection performed.
3. The P.O.A office must be notified in writing two (2) working days prior to start of excavating. A sketch outlining the shape, size, and location must be provided.
4. Excess earth piles must be removed within five (5) workdays after completing backfill work. Stock piling of any dirt in Lake California is prohibited.
5. Failure to remove excess dirt within five (5) working days after completing the backfilling work will result in forfeiture of the deposit.

NOTE: Additional fines shall be imposed if excess dirt is not removed within thirty (30) days of excavation completion.

LAKE CALIFORNIA SIGN REGULATIONS FOR REAL ESTATE AND BUILDING CONTRACTOR'S SIGNS

Signs must be of reasonable dimensions, not to exceed six square feet. All signs must be displayed on a stake of either wood or metal material and not attached to a tree, fence, street sign, or building.

Signs may show "FOR SALE" or "FOR RENT", the name of the person and/or company to contact, the telephone number and a company logo, if applicable.

Acceptable is "APPOINTMENT ONLY" and "SOLD".

No other information such as "FINANCING AVAILABLE", "PRICE", or "TERMS" may be displayed.

Sub-contractors Signs (Electrical, Heating, and A/C, etc.) are not allowed, and may be removed by the P.O.A.

Approval:

All signs must be approved by the Architectural Committee (AC) in advance of display. Realtors and Building Contractors currently doing business in Lake California that use the same sign regularly, one approval is all that will be required unless the contents of the sign are changed.

From time to time, there may be special sales or auctions that require unusual signing. The Architectural Committee must approve all such signs in advance.

Note: If any signs are displayed that have not been approved by the AC, they may be removed by the P.O.A. and a complaint will be filed against the property owner and his agent. (Realtor or Contractor)

MISCELLANEOUS ITEMS

1. Cable television and satellite dish/antenna requirements:

- A. Location to be in an area as inconspicuous as possible.
- B. Cable must be underground, with no visible wires.
- C. Tenants must have property owner's permission, in writing.
- D. Mast shall be no higher than 12 foot from roofline.
- E. Dish or antenna shall have a diameter or diagonal measurement of 36 inches or less.

2. Clotheslines:

- A. Location must be as inconspicuous as possible so as not to be offensive or a safety hazard.
- B. Acceptable: Umbrella – Retractable – Metal Pipe (2 inches min.)
- C. Not Acceptable: Wooden post – Tree to tree, deck to tree, or house to tree lines.

3. Deck specifications for lake front lots:

- A. Supporting posts or pier(s) shall remain above or clear of the "High Water Line." (Referenced to "Flood Plane")
- B. Decks shall not "Cantilever" more than four (4) feet beyond the "High Water Line".
- C. Where deck elevation requires posts or columns exceeding 2 feet in height, the posts or concrete columns shall be no less than 12 inches square or 10 inches in diameter. Any bracing required will be architectural in appearance, with bolts at connecting points.
- D. Screening under all decks, to hide framing, is desirable.
- E. Screening is required if item (C) specifications are not followed.

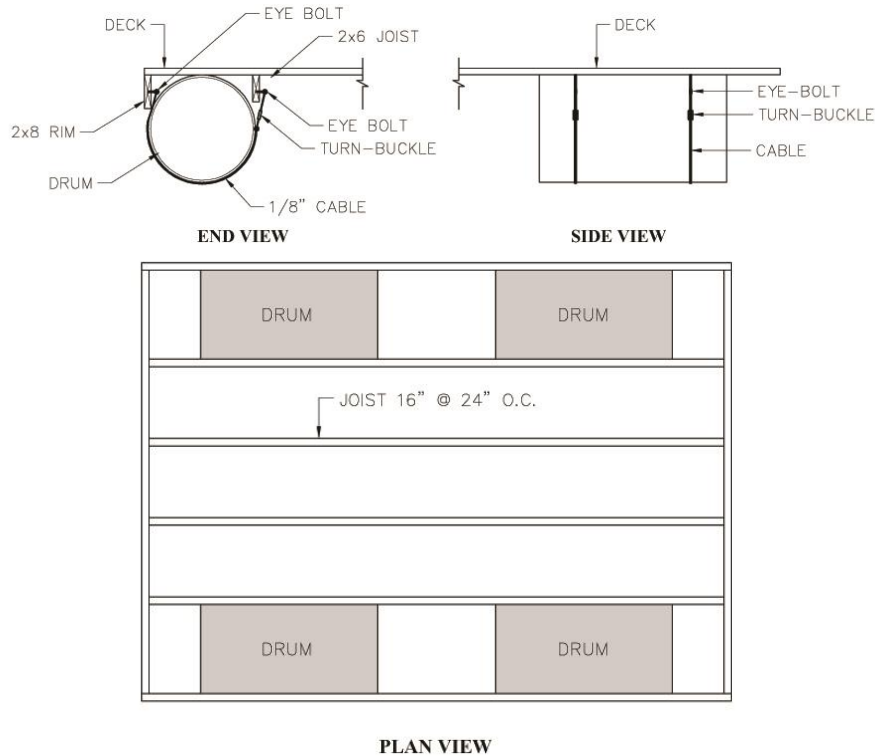
DOCK SPECIFICATIONS/REQUIREMENTS:

- A. There is a \$100.00 refundable performance deposit required at the time of application and you will be given a dock approval sign to post. Docks and landings must be complete in 60 days of AC approval.
- B. Drums used for floatation must be clean and safe for use. (Assurance forms are available at POA office)
- C. All floatation devices must be of a commercial nature and must be approved by AC. Floatation devices must be hidden by a wood band or border not less than 8 inches wide.
- D. Dock size, and materials must be thoroughly indicated on request.
- E. AC determination is that the dock should be able to float year around. (Bungs should be sealed to prevent leakage and sagging).
- F. All docks must have solar lighting. No land line Dock Lights permitted.
- G. No **Bare** Styrofoam floatation material. **NOTE:** Muskrats, Otters and Beavers destroy and spread pellets over lake.
- H. Docks and landings shall include the Tehama County Planning and Building approved plans and permits where required.
- I. Owner is required to submit cut sheet showing a standard acceptable dock structure (i.e.: PG&E tape),
- J. Barrels must be tied OR strapped to dock.

NOTE: See Dock Specifications for Poly Clad Foam or Drum Supported Docks

LAKE CALIFORNIA PROPERTY OWNER'S ASSOCIATION

DESIGN FOR "Drum Supported" DOCKS
MINIMUM CONSTRUCTION STANDARDS



(Nominal Drum Size: Height: 35" Diameter: 23.25")

4 Each - 1/4" X4" Eye Bolts with Flat Washers & Nuts, For Mounting Each End of Drum

2 Each - 1/4"x4" Turn Buckle for Mounting Each Drum Under Dock

2 Each - 1/8" Stainless Steel Cables- Securing Each Drum to Dock

4 Each - 1/8" Galvanized Cable Clamps – Securing Each Cable to Dock

All Fasteners Above Waterline Shall Be Hot Dipped Galvanized (Electroplated Galvanized is not recommended)

All Cable/Straps Below Waterline Shall Be Stainless Steel

Construction Shall Be 2x6 with 2x8 Rim

Framing Lumber Be Douglas Fir, Pressure Treated Minimum

Framing Reinforcing Shall Be Simpson Angle Brackets and/or Joist Hangars with Galvanized Fasteners (Screws Are Recommended)

Decking Shall Be Pressure Treated "Ground Contact" Minimum, Construction Hart Redwood or "Composite."

Drums Shall Be Plastic, Single Color, Blue/White or Black, In Excellent Condition free of any "Vent Holes".

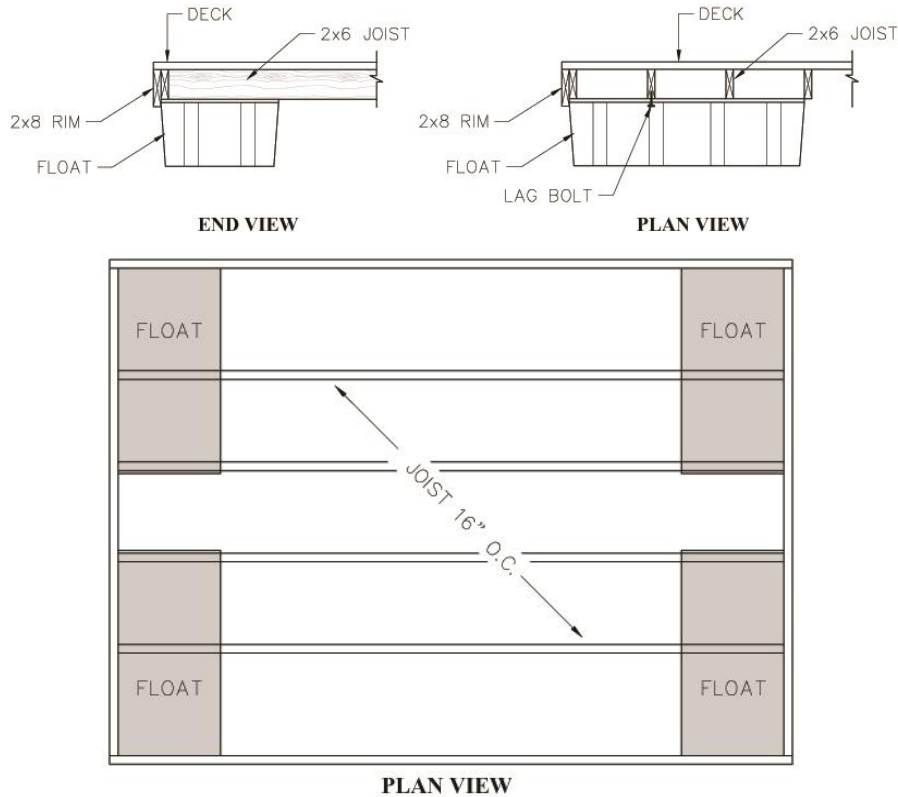
Bungs Shall be Watertight and Rotated Horizontal To The Waterline.

March 2016

LAKE CALIFORNIA PROPERTY OWNER'S ASSOCIATION

OPTIONAL DESIGN FOR "Poly Clad Foam Supported" DOCKS
CONSTRUCTION STANDARDS

<http://www.amazon.com/Taylor-Made-Products-Dock-Float/dp/B00N3KUESW>



(Taylor Nominal Float Size: Height: 12" Width 24" Depth 36")

2 Each – 1/4" Lag Bolts with Flat Washers, For Mounting Floats at Each Frame Support

All Fasteners Above Waterline Shall Be Hot Dipped Galvanized (Electroplated Galvanized hardware is not recommended)

Construction Shall Be 2x6 with 2x8 Rim

Framing Lumber Shall Be Douglas Fir, Pressure Treated Minimum

Framing Reinforcing Shall Be Simpson Angle Brackets and/or Joist Hangers With Galvanized Fasteners (Hardened Deck Screws Are Recommended)

Decking Shall Be Pressure Treated "Ground Contact" Minimum, Construction Hart Redwood or "Composite."

ALTERNATE DESIGNS: Taylor-Made Floats Are Provided as One Example of a Readily Available Floatation System. Other Factory Poly/Plastic Clad Foam Dock Designs Maybe Submitted to The POA / AC for Review and Possible Approval.

SOLAR PANELS REQUIREMENTS:

Installation Requirements for Solar Panels:

- A. LC AC application must be submitted to AC Committee via addition/alteration form, with Licensed Vendor or Contractor.
- B. Property Owner is required to submit a full copy of the Solar Installation County Permit to the Lake California Office to be added to the member's file.
- C. All conduits are to enter the roof as near as possible to the panel structure, there will be no long runs of conduit across the roof.
- D. Solar Panels shall be mounted to minimize view from street when possible. All additional equipment shall be installed to meet LCPOA requirements. Ground mounted arrays visible above fence height are not encouraged.
- E. Per Tehama County Building Department, no Solar Panels can be mounted in front of residence.

LAKE CALIFORNIA RULES & REGULATIONS FOR CONTRACTORS

All Lake California permits and/or fees are to be obtained and paid before any work is to begin. Lot address and permit must be posted and visible at the job site.

1. Construction time is Sunrise to Sunset, five days a week including holidays. Saturdays and Sunday's time is 7 AM to 6 PM.
2. Please obtain, from the POA office, temporary visitors Tag passes for your workers who will be entering Lake California on an on-going basis during construction. Each pass requires a \$5.00 deposit and is refundable upon completion of the job, or when the pass is presented to the office for a refund. If temporary passes are not purchased, all workers will be logged in at the visitor's gate upon each visit to jobsite.
3. Please note speed limits and children waiting for buses.
4. Job sites must be kept free of trash and debris by providing a Green Waste 96 gallon can for weekly pick-up service for personal debris. Large trash must be contained in bins or trailers or removed daily. Materials to be used later must be stacked neatly to the rear or side of the project. Brush and stumps must be removed from job site and properly disposed of before job starts. Do not push or pile debris on adjoining lot(s), greenbelt area(s) taxiway, or in the lake.
5. Dumping of excess concrete or washing out a mixer is NOT allowed on empty lots.
6. DO NOT use neighboring lots or POA property, for any reason, without written permission on file in the POA Office.
7. Lake California is privately owned, and no fishing is permitted in any of the ponds or lakes by anyone other than residents and/or property owners. Absolutely no hunting is allowed in Lake California.
8. There are no animals allowed on the jobsites.

Note: No private burning of trash or debris is permitted in Lake California. Please share the above information with your employees and/or sub-contractors. Compliance with the above rules will be greatly appreciated and will help make your construction project proceed without incident, unnecessary delay, and/or expense.

ARCHITECTURAL STANDARDS FOR AIRCRAFT HANGARS

Plans for Airport Lot development shall be reviewed by the Airport Committee prior to your AC Approval meeting to ensure conformance to the height and setbacks requirements relative to the airport runway. A \$500.00 refundable construction deposit is required with your Application and Plans if not part of a New Home build.

Note: All construction must conform to current Tehama County requirements and/or any other regulatory agency including but not limited to, Cal Trans and the FAA.

Hanger Material

1. If attached to the house, hangar exterior materials and trim must be the same as the dwelling
2. If detached, hangar material can be any Tehama County approved product, other than reflective
3. If metal is used, it must be an approved baked on enamel and cannot be reflective

Colors: Roof, walls, and trim are to always match or blend with residence

Roof: Minimum 1&12 standard pitch or greater with overhangs optional

Fascia: 8" minimum width of fascia trim and/or gutter

Vents: Only eyebrow or ridge vents are allowed on roof

Height: Must conform to current Tehama County regulations and/or any other regulatory agency including but not limited to, Cal Trans and the FAA. Depending on location, structure height on airport lots may be restricted. See sketch below:

Additional hangar standards:

1. A House to be built within the same 18-month period as the Hangar.
2. Residential Lot Hangars may not be occupied as the sole living space of the parcel.
3. Commercial mechanical repairs only by licensed personnel.
4. Open sided hangars will not be allowed.
5. Airport Lots must be completely landscaped except behind 6-foot fence. Show front, back and sides on plan.
6. Hangars on end lots adjacent to streets or visible from street must have year-round EVERGREEN trees or tall EVERGREEN plantings to diffuse the view of the side of the hangar.
7. Lots that are visible to the taxiway must have an automatic watering system supplied to grass, or another groundcover.
8. Lots must be fully landscaped except behind 6-foot fence.
9. The 14 ½ foot clear zone, where applicable, adjacent to the taxiway may be rock, concrete, asphalt, grass or low green groundcover and be kept clear of weeds, rubbish & debris.
10. The Airport Committee as well as the Architectural Committee will review building plans on airport lots. If request varies from the Cal Trans approved Airport Layout Plan (ALP) aeronautics division of Cal Trans must review plans for approval.
11. Hangars can only be rented by Lake California residents or property owners.
12. No Hangars to be built on POA Common areas. It would require all the Membership votes and it must meet Caltrans requirements.
13. The Lake California Property Owners Association Inc. (LCPOA) will not pave undeveloped connectors, taxiways, or taxi-lanes. If the taxiway or taxi-lane is not improved at the time of desired use it will be the individual lot owner, or group of individual lot owners, responsibility to construct and maintain a taxiway, taxiway segment or taxi-lane according to LCPOA specifications. The construction will go to either north/south end of the runway or to one of the existing two equally spaced connectors, or an existing taxiway segment as shown on the Airport Master Plan. No direct connections to the runway will be allowed at any other locations. Such segments constructed on the parallel taxiway location shall be 4-inch road base with 2-inch asphalt overlay, with a width of road base 17 foot and asphalt 15 foot located at 150-foot centerline of runway to centerline of taxiway.

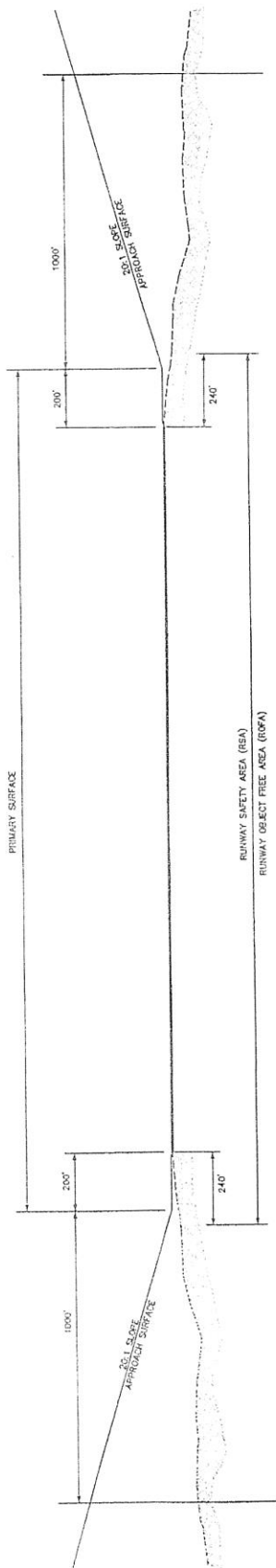
ARCHITECTURAL STANDARDS FOR AIRCRAFT HANGARS CONTINUED

14. Lake California Airpark is a Special-Use Airport operated under permit from the State of California. The permit is issued subject to various structure height and distance restrictions relative to the runway, taxiways, and taxi lanes. A graphic representation is provided at Section 24.1. Any request for variance of a height or siting requirement of a house or hangar within the Transitional Surface Area or other restricted use area of Lake California Airpark must first be coordinated with the California Department of Transportation, Division of Aeronautics.

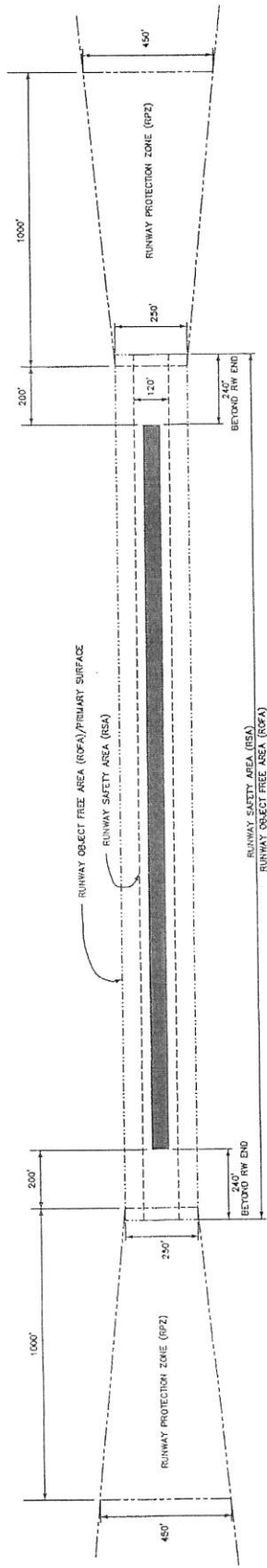
The LC POA will not request a variance on behalf of a property owner. The property owner must request the variance and provide all maps, property elevations and proposed structure heights and location on the property to the Division of Aeronautics, as well as any other information the Division might require. The property owner must provide the Airport Committee Chairman with copies of all communication with the Division of Aeronautics and keep the Airport Committee Chairman apprised of the variance request status.

An approval of the proposed plan by the Division of Aeronautics does not constitute approval by the Airport Committee, the Architectural Committee, or the Lake California Board of Directors. If granted by the Division of Aeronautics, the variance must go through the established POA variance process, beginning with the Airport Committee.

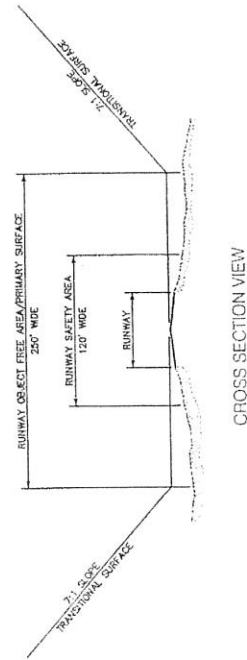
ARCHITECTURAL STANDARDS FOR AIRCRAFT HANGARS CONTINUED



SECTION VIEW



PLAN VIEW



CROSS SECTION VIEW

FAA DEFINED AREAS, ZONES, AND IMAGINARY SURFACES AIRPLANE DESIGN GROUP "I - SMALL"

(AIRCRAFT APPROACH CATEGORIES A & B. RUNWAYS WITH NOT LOWER THAN 1 STATUTE MILE APPROACH VISIBILITY MINIMUMS)

COMMERCIAL LOTS – A-V, C-1, R-3, R-4

It is the intent of Lake California to encourage development of those Lake California areas zoned for commercial use in the belief that the provision, close at hand of particular goods and services, will benefit community residents. All commercial lots within Lake California will follow the code set by Tehama County. Commercial Lots within Lake California are subject to the approval from the LCPOA Board as to the type of business planned for each lot. LCPOA takes into consideration type of business, hours of operation, amount of increased traffic and location to residential, hours of business, parking requirements and any noise contamination. No commercial storage units are to be on any commercial lots in residential living or visible areas of Lake California.

A-V Lots

1. Please see Tehama County regarding A-V Lots where special regulations are necessary for the protection of life and property.
2. All A-V lots must be involved in an Airport related in business endeavor.
3. Any Residential use on an A-V lot is first subject to obtaining a Use Permit from Tehama County Planning Department and an approval from the Lake California Board.
4. All A-V lots shall comply with LCPOA AC Rules and Guidelines. Exceptions are handled on a case-by-case basis.

LAKE CALIFORNIA C-1 BUILDING REQUIREMENTS

Multi-family units shall have one additional parking space per residence. A two foot off-set in the plan is required for a third garage.

Consistent with AC policy for other construction, approval by the AC of plans for new commercial buildings will be based primarily upon the compatibility of the building design with the surrounding area and nearby structures. In general, while recognizing the right and necessity to observe the “form follows function” principle, owners and/or builders are cautioned to avoid an exterior design which is unduly conspicuous because of unconventional structural features, ornamentation, paint colors, or combinations of materials.

Specifically, the AC will evaluate proposed commercial buildings by the following standards:

SET-BACK AND HEIGHT REQUIREMENTS:

1. Building height must conform to Tehama County Standards.
2. Front and rear yard setbacks should be a minimum of 15 feet.
3. Side-yard setbacks should be a minimum of 2 feet, however, when a commercial lot adjoins a residential lot, the setback must conform to residential setback requirements. A 6-foot fence will also be required where appropriate.

STRUCTURAL REQUIREMENTS:

1. Acceptable exterior siding materials are, stucco, brick, stone, concrete, metal, lapped hardboard, lapped hardy-plank or equivalent, cedar or redwood board and bat, and tongue and groove lap board.
2. Roofs should have a minimum pitch of 5 & 12, with 18 to 24-inch eaves. Roofing should be at least a 30 to 50-year material, such as tile or metal. Roofing material and specifications will be evaluated on a case-by-case basis for appropriateness to building style and location. Tile roofing is required in Tract 1006.
3. Full fascia gutters are required. Water drainage must be dissipated and/or directed so as to not cause damage to surrounding properties. All roof vents should be low profile, such as continuous ridge venting or dormer vents. Vent pipes should be placed on the rear of buildings, not be visible from the street, and painted to match the roof.
4. Heating/cooling units are preferably placed at ground level. If roof-mounted, units must be positioned at the rear of the structure, and if visible from any street, must be screened and painted to match the roof. Condenser units must be out of sight (to rear or side of the building).
5. All incoming electrical and telephone supply lines must be underground.

LANDSCAPE

1. Landscaping is required, and a detailed landscape plan must be submitted prior to completion of building. Landscape design and planting should take into consideration the current water restrictions. Your materials should be chosen with the idea of blending into the surrounding environment, counteracting the harsh effect of large expanses of siding material, concrete, and asphalt.

PARKING

1. Parking must be provided off-street and adjacent to the building. Parking space must conform to Tehama County standards.
2. Parking areas must be paved in concrete with all edges finished.

BUSINESS SIGNS and LIGHTING

1. Signs for any business use must not exceed 32 square feet, and no sign is to project above the street-facing wall. Design, placement, and subject matter of all signs will require AC approval.
2. Exterior lighting of a business site must be approved by the AC. Diffused lighting is required so nearby residents and people passing by are not subjected to glare.

LAKE CALIFORNIA C-1 BUILDING REQUIREMENTS CONTINUED

GARBAGE DISPOSAL

1. A garbage receptacle, such as a dumpster, is required and must be in a permanent enclosure and locked at night. A trash receptacle must be provided for the public and any portable receptacle must be taken inside during all hours that the building is not open for business.

BUILDING PROCEDURES

1. Contractors and/or owners planning to construct a commercial building are required to meet with the Architectural Committee to go over preliminary plans on an advisory basis. Presentation of the plan can be informal.
2. The plot plan should indicate:
 - a. location of the proposed structure(s) on the lot
 - b. relationship of the building(s) to the lot lines
 - c. north-south orientation
 - d. drainage pattern.
3. The building plans should depict:
 - a. drawn-to-scale exterior elevations
 - b. placement of vents
4. For final approval of building plans, builders, and/or owners must meet with the AC. At or prior to this meeting, the contractor/owner must submit:
 - a. Plan review fee of \$200.00.
 - b. Two copies of building blueprints, with clear indication of any changes required or agreed upon during the preliminary plan review.
 - c. A signed survey of the lot by a licensed surveyor or engineer.
 - d. Detailed landscape plan.
 - e. A sample of roof material indicating manufacturer, color, and warranty.
 - f. Color chips for exterior walls and trim.

ADDITIONAL REQUIREMENTS

Final inspection. Before any building(s) can be used, occupied, or rented, the construction project must be completed, and final inspections made by Tehama County and the Architectural Committee. The “project” includes, but is not limited to, buildings, landscaping, paving, and fencing. All construction must be completed within one year unless the owner/builder has been granted an extension of time by the Board of Directors.

LAKE CALIFORNIA DUPLEX AND R-3 BUILDING STANDARDS

PERMITTED USES:

- A. Living units:
 - 1. One-family, two-family, multiple family.
 - 2. Group buildings and apartments.
- B. Business and professional operations:
 - 1. Nursery Schools, Childcare Centers.
 - 2. Other uses of a similar nature, as determined by the LC AC.

BUILDING SETBACK MINIMUMS:

- A. Front: 50 feet from the centerline of roadway, or 20 feet from the property line, whichever is greater.
- B. Rear: 20 feet from rear property line.
- C. Sides: 6 feet from side property lines, plus additional 3 feet for each story above the first story of any building. Side yard on the street side of a corner lot must be at least 20 feet.

BUILDING HEIGHT, LOT COVERAGE AND ELEVATION:

- A. Height limited to 2½ stories and cannot exceed 35 feet.
- B. Building coverage no more than fifty percent of total lot area.
- C. The front elevation must be offset by a minimum of 4 feet between adjacent units with separate roof details.

DISTANCE BETWEEN BUILDINGS:

There should be at least 12 feet between the main buildings on the same lot.

RESIDENCE SIZE:

- A. Minimum 1,000 square feet of fully enclosed floor area for each unit, exclusive of decks, porches, garages or other out-buildings.
- B. Each residence shall have at least a two-car (400 sq. ft., 20' x 20' minimum) garage which may be either of an attached or detached design. The garage must be of the same design and material as the residence. In addition, Multi-Family lots shall have one additional parking space per residence.

LANDSCAPING:

- A. Requires approval by the Architectural Committee of landscape plans which must show the following:
 - 1. All pre-existing trees and shrubs as well as planned new trees and shrubs; location and names of new items. Minimum requirements per each ground floor unit: Two 5-gallon trees and seven 1-gallon shrubs.
 - 2. Location of any lawn areas, plants, trees, flowers, and sprinkler or drip watering system.
 - 3. Side-yard landscaping to far corner of building (unless wing fence to be installed with initial construction).
 - 4. Type of groundcover, if used.
 - 5. Rocks cape over easement area, when appropriate.
 - 6. Storm Water Runoff Drainage pattern after final grading.
 - 7. North orientation of lot.
- B. Landscaping to be completed within sixty days of building completion, unless extension granted by Architectural Committee.

LAKE CALIFORNIA DUPLEX AND R-3 BUILDING STANDARDS CONTINUED

PARKING:

- A. For a residential building, one off-street parking spaces per unit, including a two-car enclosed garage, also, one guest parking space per every unit.
- B. For a non-residential building, an area equal to one square foot of parking space per each square foot of floor space in main buildings.
- C. (R-2) Parking area adjacent to the building, and where concrete is not required, must be paved in asphalt, with all edges finished. Min. 8'x20'.
- D. (R-3) All multi-unit garages and additional parking must be at the rear of the building. A minimum 10-foot width driveway to the rear is required.

ADDITIONAL REQUIREMENTS:

- A. Garbage receptacle, such as a dumpster with an approved enclosure, for non-residential buildings. For residential buildings, community dumpster, with approved enclosure, or individual trash containers, to be stored in garage.
- B. For residential buildings, community laundry facility or individual laundry outlets each unit. (No outside laundry lines.)
- C. Privacy fences as appropriate.

Note: If a lot zoned R-3 is used for a one or two-family dwelling, R-1 or R-2 guidelines must be used. POA fees will be paid for each living unit.

LAKE CALIFORNIA R-4 BUILDING STANDARDS

PERMITTED USES:

- A. Living units: One-family, two-family, multiple-family, group buildings or apartments.
- B. Business and professional operations: Nursery schools, day care centers. Real estate and insurance offices. Offices for doctors, dentists, attorneys, accountants, engineers, writers, architects. Other uses of a similar nature, as determined by the AC.
- C. Incidental and accessory buildings: (e.g., storage buildings) necessary for the operation of any permitted use. Building must occupy the same lot as the primary structure and must be approved by the AC.
- D. Advertising signs pertaining to a non-residential use of the property: One sign only is permitted. Sign may not be larger than 32 square feet and must not project above the street-facing wall. Design, placement and subject matter of signs will require AC approval.

YARD SETBACK MINIMUMS:

- A. Front: 50 feet from the centerline of roadway, or 20 feet from the property line, whichever is greater.
- B. Rear: 20 feet from rear property line.
- C. Sides: 6 feet from property line, plus additional 3 feet for each story above the first story of any building.

Note: Side yard on the street side of a corner lot must be at least 20 feet

BUILDING HEIGHT and LOT COVERAGE:

- A. Height limited to 2 ½ stories and cannot exceed 35 feet.
- B. Maximum building coverage no more than sixty percent of total lot area.

DISTANCE BETWEEN BUILDINGS:

- A. There is a distance of 12 feet is required between main buildings on same lot.

RESIDENCE SIZE:

- A. Minimum 1,000 square feet of fully enclosed floor area for each unit, exclusive of decks, porches, garages, or other out-buildings.
- B. Each residence shall have at least a two-car (400 sq. ft., 20 ft. x 20 ft. minimum) garage which may be either of an attached or detached design. The garage must be of the same design and material as the residence. In addition, multi-family lots shall have one additional parking space per residence to the rear of the buildings.

LANDSCAPING:

- A. Detailed landscaping plans must be submitted with the building plan.
 - 1. Landscaping design and planting materials should be chosen with the idea of blending into the surrounding environment.
 - 2. Counteracting the harsh effect of large expanses of siding materials, concrete, and asphalt.
 - 3. Screening unattractive features such as loading docks, storage areas and the like.
 - 4. Providing shade where possible.

LAKE CALIFORNIA R-4 BUILDING STANDARDS CONTINUED

ADDITIONAL REQUIREMENTS:

- A. Garbage receptacle, such as a dumpster, with approved enclosure, for non-residential buildings. For residential buildings, a community dumpster, with approved enclosure, or individual trash containers, to be stored in a garage.
 - B. For residential buildings, community laundry facility or individual laundry outlets for each unit. (No outside laundry lines.)
 - C. Privacy fences as appropriate.
 - D. Landscape must be completed within sixty days of building completion, unless extension granted by the Architectural Committee.
- Note:** If a lot of zoned R-4 is used for a one or two-family dwelling, R-1 or R-2 guidelines must be used. POA fees will be paid for each living unit.

PARKING:

- A. For a residential building:
 - 1. Two off-street parking spaces per unit, including a two-car (20 ft. x20 ft.) enclosed garage. In addition, one guest parking space is required for each unit.
 - 2. For a one or two-family residence, use R-1 and R-2 standards.
- B. For non-residential building, an area equal to one square foot of parking space per each square foot of floor area in main buildings.
- C. Parking area adjacent to the building and where concrete is not required, must be paved in asphalt, with all edges finished.
- D. All Multi-Unit and Care Center Garages and Additional Parking must be in the rear of the building, a minimum 10-foot width driveway to the rear is required.

SWIMMING POOLS

Pools must be in the rear or side of the lot and cannot obstruct access to driveways or garages.

Plans must go through the Architectural Committee for review and approval.

NOTE: It is recommended contacting local water district for water restrictions.

Safety is our major concern.

All pools, in-ground or doughboy must be inside a 5-foot minimum height fenced area with self-locking gates.

The pool fence is to be in place before the pool is filled and used.

As of January 1998, a perimeter property fence alone, is not necessarily acceptable.

Check with Tehama County on current pool barrier requirements. The required items are the responsibility of the party constructing the barrier and must be installed prior to filling the pool.

The following information is taken from the Tehama County Department of Building and Safety in 2003:

POOL SAFETY REQUIREMENTS

Commencing January 1, 1998, the California Health and Safety Code requires one of the following items are necessary for obtaining a permit for a new swimming pool at a private, single-family home.

- A. The pool shall be isolated from access to the residence by an enclosure. (Fence, wall or other barrier isolating pool from access to the home) Or.
- B. The pool shall be equipped with a manual or automatic ASTM F1346-91 approved safety pool cover. Or
- C. The residence shall be equipped with exit alarms on doors providing direct access to the pool. Or
- D. All doors providing direct access from the home to the swimming pool shall be equipped with a self-closing, self-latching devices with a release mechanism placed no lower than 54 inches above the floor. Or
- E. Other means affording, equal or greater protection as determined by the Tehama County Building Official.

ENCLOSURE CHARACTERISTICS

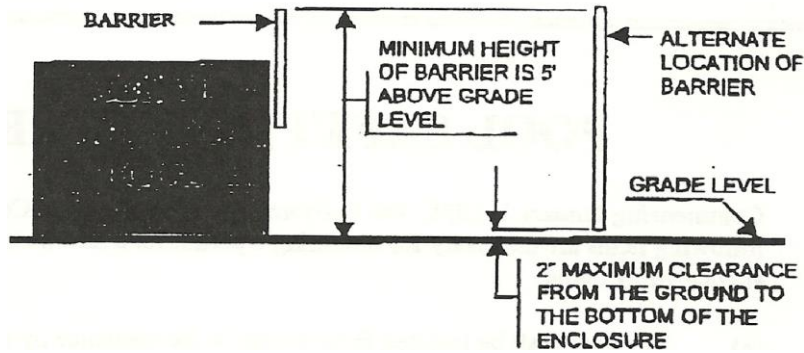
- A. Access gates through the enclosure shall open away from the swimming pool and shall be self-closing with a self-latching device placed no lower than 5 feet.
- B. The enclosure shall be no lower than 5 feet.
- C. The maximum clearance from the ground to the bottom of the enclosure shall be no more than 2 inches.
- D. Gaps and voids shall not allow the passage of a sphere equal to or greater than 4 inch in diameter.
- E. An outside surface free of protrusions, cavities, or other characteristics, which would serve as handholds or footholds, enabling a child under five years old to climb the enclosure. Chain link fences must have slats or similar material which minimizes the size of the cavities.

Note: These restrictions do not apply to hot tubs or spas with approved locking safety covers.

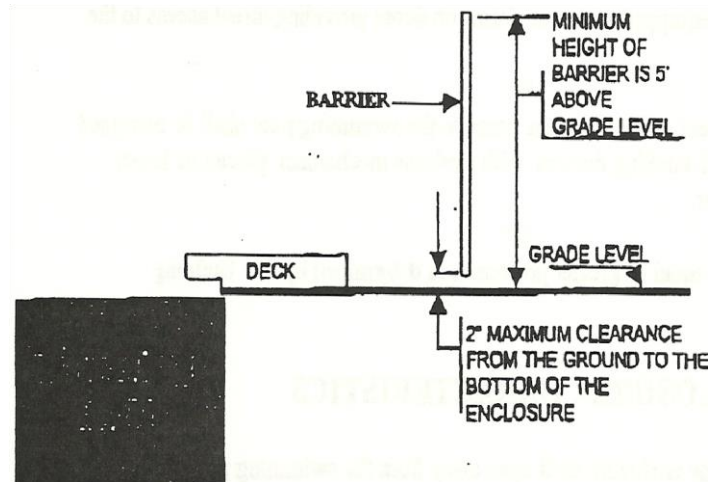
SAFETY BARRIERS MUST BE IN PLACE AND INSPECTED PRIOR TO FILLING POOL

SWIMMING POOLS CONTINUED

Barrier requirements for above ground pools:



Barrier requirements for above ground pools:



**LAKE CALIFORNIA ARCHITECTURAL COMMITTEE
PROGRESSIVE FINAL CHECK LIST**

Property Owner's Name: _____

Property Address: _____

Tract # _____ **Lot #** _____

LCPOA Architectural Committee member, please initial each at left of number.

- 1) _____ Tehama County Permit, Orange, Lake California Blue jobsite card.
- 2) _____ Address posted at site.
- 3) _____ Portable Toilet on site.
- 4) _____ Green Waste Debris minimum 96 Gal and Recycle on site.
- 5) _____ Correct Property address with required house numbers (4" high).
- 6) _____ Required Tehama County property setback distances for house structure.
- 7) _____ Required LC house exterior paint colors and trim colors.
- 8) _____ Required house roofing material and raking (Tract #1006 requires tile roofing). Roof breaks, hips, valleys, dormer, etc.
- 9) _____ Required 5/12 pitch or greater. (Tract #1006 minimum 6/12 pitch, Tract #1017 minimum 7/12 pitch).
- 10) _____ Required minimum eighteen (18) inch roof overhang.
- 11) _____ Minimum 6-inch Full Fascia gutters w/ downspouts noted on elevation.
- 12) _____ Required four (4) inch door and window or corners framing. (Banded if stucco).
- 13) _____ If front of house posts, minimum of 6 inch by 6 inch.
- 14) _____ Flush mounted electrical panel.
- 15) _____ Vent placement (all vents on rear of house except water heater) And painted.
- 16) _____ Fencing. Proper fence material and setbacks from street. Corner lots require both street directions setbacks. Full fence or wing fence(s). No six (6) foot fencing in front yard (must not pass the front of building parallel line. Three-foot fencing from front of building to ten-foot easement setback, if desired.
- 17) _____ Sewer backfills (3/8-inch gravel).
- 18) _____ Required entire lot drainage for Storm Water run-off. Property owner to be responsible for Storm Water performance.
- 19) _____ Driveway minimum width of sixteen (16) feet with proper drainage and twenty-six (26) feet at street asphalt edge.
- 20) _____ Required driveway construction to follow LC street drainage easement requirements.
- 21) _____ Required corner lot landscaping of street easement setback area.
- 22) _____ Required propane tank placement with Tehama County setbacks. Fuel riser enclosed.
- 23) _____ Required Air Conditioning Unit and HVAC heating unit placement and wing fence installed if seen from street (no window mounts).
- 24) _____ Required top panel windows on garage door.
- 25) _____ If mailbox is installed refer to mailbox requirements.
- 26) _____ Required septic tank placement or Rio Alto sewer connection.
- 27) _____ No bright exterior lighting that shines on neighbor's property. **NOTE:** See Elevation / Lighting Requirements.

**LAKE CALIFORNIA ARCHITECTURAL COMMITTEE
PROGRESSIVE FINAL CHECK LIST CONTINUED**

- 28) _____ Verify that adjacent lots have been cleared of all debris and the contractor has leveled the ground and left the lots in good condition.
- 29) _____ Submit a copy of Tehama County Certificate of Occupancy to front office.
- 30) _____ Owner must provide copy of final inspection from Tehama County to LCPOA Office.
- 31) _____ Owner/Contractor has placed the required ten (10) foot Lake California gravel easement at street edge and on both sides of Corner lots.

Special requirements regarding Airport property lots, Lake Property lots and Multiple Family units.

- 1) _____ Extra LC Architectural features for two (2) story buildings. Side elevations and corner lot and rear elevations on lake lots.
- 2) _____ Required setbacks for fencing on lake lots. Setbacks for decking on lake side.
- 3) _____ Extra airport landing strip setback requirements for house or hangar structures.
- 4) _____ Deck requirements – column size and screening.
- 5) _____ Multiple family units – review garage and parking requirements per unit and four (4) foot elevation setbacks.

The above checklist indicated on plans have been reviewed and signed off by LCPOA Architectural Committee Member. Everything on this list has been completed.

LC Architectural Committee

Member: _____
Signature Date

This completed list once signed by LC Architectural Committee Member will be used as notification to LCPOA to refund the deposit back to Owner.

LC Architectural Committee Chair/co-Chair:

Signature Date

- AC Member's Initials -

BUILDING DEPOSIT REFUND PROTOCOL

1. Turn in a Tehama County Permit to the office or fax a copy to "347-7902" Attn: AC Committee.
2. Your AC Contact will do a final within 30 days.
3. If you meet all the requirements from the New Construction Progressive Final Check Off list, your deposit will be sent to the address provided.
4. LCPOA has 45 days from receipt of Occupancy Certificate (with date) to refund Property Owner's deposit money.
5. You will then have 30 days from your Occupancy Date to finish the construction and 60 days to finish the landscape. Therefore, your site will need to be rechecked before AC members will sign the final.

DRIVEWAY EASEMENT APPLICATION

DATE: _____ TRACT: _____ LOT: _____

PROPERTY ADDRESS: _____

APPLICANT: _____ PHONE: _____

The undersigned is applying for permission to excavate, construct, install and/or otherwise encroach on LCPOA's right-of-way/easement by performing the following work:

"A" Standard Approach

"B" Dipped Approach

"C" Approach with a Culvert

The type of approach is to be determined by a builder, designated contractor or engineer when appropriate or when *required* by the architectural committee.

Sewer Connection: A 3/8" Minus Reject material to be used as backfill at the sewer connection

The owner/builder shall be responsible for a cut or expansion joint placed on the property line at concrete driveway approach for any work done in the future by LCPOA and/or Rio Alto Water District.

48 hours prior to commencing the above work, the applicant must contact the LCPOA office to arrange for backfill verification and inspection by the committee.

Applicant waives any claim of liability or damages against the LCPOA based on the issuance of this permit, on any subsequent court order declaring this permit invalid and on any future damages suffered by the applicant by reason of the issuance of this permit or his reliance thereon and agrees to do the work in accordance with L.C. Rules and Regulations and subject to AC approval.

APPROACH TYPE APPROVED BY AC

APPLICANT SIGNATURE: (OWNER/BUILDER)

INSPECTED BY

ADDRESS

Date: _____

AC PLAN SUBMITTAL CHECK LIST

A. ___ Have you built on any lot within Three (3) lots of this property?

1. ___ \$200.00 plan review fee paid (check No. _____)
2. ___ Detailed elevations must be thoroughly indicated on plans.
3. ___ Square footage noted _____. 1,400 sq. ft. minimum.
4. ___ Property corners located by engineer if necessary. Owner must know property lines.
5. ___ Any other surveys required? (Airport lots: Height - lake lots: flood plain).
6. ___ Address verification if corner lot or combined lots or Duplex.

******* Plot plans (2) with the following requirements indicated:**

1. ___ Setbacks noted.
2. ___ Location of any trees over 3" in diameter to be removed & hauled away.
3. ___ Flush mount electrical panel - indicate location.
4. ___ Underground utilities and cable ready indicated.
5. ___ Lot drainage – arrow indicate after final grading.
6. ___ Propane tanks must be shown on plans, with a minimum 10 feet from property line and 10 feet' from house. Above ground < 125-gallon Zero tolerance propane tanks must be set on concrete pads to the rear or side of the house and must be enclosed, with vents at the bottom, finished to match house (no fence material). The fuel riser must be inside the propane tank enclosure. TC/Cal Fire Approved.
7. ___ Driveway width minimum 16' and encroachment noted and a 26-foot minimum width at the street. The primary driveway must be concrete from garage to street with a saw cut edge at the street. Call for Inspection. Driveway must drain with the natural flow; this is the contractor's responsibility.
8. ___ Location of heating/cooling system – no window mounts – Condenser unit must be to the rear or side of the home and not seen from street, if seen from street wing fence needs to be installed.

******* Roof Guidelines:**

1. ___ 5&12 pitch or greater, except Tract 1006 minimum 6&12 pitch and Tract 1017 minimum 7&12 pitch.
2. ___ 18" to 24" minimum roof overhang except 18" in Tract 1017. Note: Any deviation must be discussed at plan review
3. ___ Min 2x6 Full Fascia gutters w/ downspouts noted on elevation. No plastic gutter or downspouts.
4. ___ Ridge & rakes trim cap or minimum 1x4 shingle molding on rakes.
5. ___ Roof breaks–hips–valleys–dormers–etc. – **Note:** Tile roofs in 1006.
6. ___ Call LCPOA or AC Member for roof inspection. All vents must be on rear elevation with the exception. of the water heater vent.

******* Additional Architectural Requirements, Features, and/or Options:**

1. ___ Proper paperwork filled out, signed, and turned in to LC Office.
2. ___ Color chips (1st and 2nd choice) for structure base, trim, and doors.
3. ___ Roofing material. Bring a Brochure or sample of product and color.
4. ___ 4" minimum trim for windows, doors, or corners. Must be Banded if stucco.
5. ___ 6" x 6" minimum posts or simulated posts.
6. ___ 3/8" Minus Reject to be used as backfill at sewer connection.

AC PLAN SUBMITTAL CHECK LIST CONTINUED

7. _____ Corner lot architectural features and proper setbacks.
8. _____ 2 story architectural features on side elevations.
9. _____ Architectural features on Front & Back of Lake & Airport lots.
10. _____ Deck requirements – indicate column size and screening.
11. _____ Full fence or wing fence(s) vs. side landscaping. (N/A on Lake, Airport Lots) Tract 1017 Riverview Road must have White Vinyl Fence.
12. _____ Multi-family plans - review garage and parking requirements per unit and 4' elevation setback.
13. _____ No exterior sheet siding of any size to be used on any new structures in Lake California.
14. _____ Windows in garage door: YES _____.
15. _____ Detailed Landscape Plan. Use Weed cloth under rock, bark, etc. and Border Material to contain it.
16. _____ Underground Irrigation System required. (6/05) Use 1 ½” Leach rock in flow line of easement.
17. _____ Outside Lighting indicated. No bright lights towards neighbors.
18. _____ Tank less water heater shall be interior, rear or side mounted or wing fence screened from street view.
Enclosed cabinet required if mounted on exterior
19. _____ Solar plans
20. _____ You have one year to complete your project.

Initial AC Meeting Date _____ AC Member: _____

Final AC Meeting Date _____

Signature Owner/Builder _____

AC Member Initials: _____

**LAKE CALIFORNIA ARCHITECTURAL COMMITTEE RULES AND GUIDELINES
FOR NEW CONSTRUCTION**

Preliminary Review and Signature Sheet

Current Property Owner's Name: _____

Property Street Address (in LC): _____

Property Owner mailing address: _____

LC Tract #: _____ LC Lot #: _____

The property owner and contractor have read all pages of the LCPOA Architectural Committee Rules and Guidelines for new construction and have agreed to abide by the terms and conditions stated with-in this document.

Property Owner Signature (Date) _____

Property Owner Printed Name Phone: _____

Contractor Signature (Owner Authorized Representative) (Date) _____

Contractor's Printed Name Phone: _____

Note: First time builders in LC are required to be with property owner(s) or authorized representative at the LC Architectural Plan review meeting.

ARCHITECTURAL COMMITTEE FINE VIOLATION SCHEDULE

	Compliance	Correction Time In Number of Days
Tree removal or grading without blue AC permit:	\$250 to \$1,500	
Tree removal from common area:	\$250 to \$2,500	
Limbing of trees without permit from common area:	\$50 to \$1,400	
Failure to properly dispose of tree debris:	\$100	7
Earthwork or construction without permit:	\$2,500	
Major deviations from plans without approval: (Exterior)	\$1,500	
Minor deviations or changes without approval: (Exterior)	\$500	
Failure to clean-up construction material & debris:	\$250	7
Failure to have approved trash can on site:	\$250	14
Violation of Sign Ordinance:	\$25	3
Installation of Fence without prior approval:	\$100	
Bringing pets to job site:	\$100	(fee per day)
Use of common area/Adjoining Lots & Utilities without written permission:	\$100	
Failure to restore damage to Adjoining Lots & common areas:	\$250	15
Failure to enclose, pool equipment, decks, or Propane Tank:	\$250	30
Occupancy without occupancy permit:	\$500	
Failure to give AC a copy of Building Permit/Occupancy permit:	\$100	5
Three or more final inspections:	\$100	(each)
Failure to have a Driveway/easement or Roof Inspection prior to Completion	\$250	
Failure to properly grade and drain site From edge of the road to the property line (Case by case basis)	\$500 to \$1,500	10

Please review the above to minimize potential problems during construction of your home.

APPLICATION & PERMIT FOR NEW CONSTRUCTION

Tract: _____ Lot: _____

Project Address: _____.

Owner of Record:

Builder or Contractor:

Name: _____

Name: _____

Address: _____

Address: _____.

Phone: _____

Phone: _____

License No: _____

Estimated Start Date: _____

Estimated Completion Date: _____

I hereby submit the following:

- Two (2) complete **TEHAMA PLAN CHECK READY** sets of plans; two (2) plot plans with all required indications.
- \$2,000.00 Building Performance Deposit + \$100 Fence Deposit - Refundable
- \$7,822.00 Lake California Building Fee - Non-Refundable OR \$5,870.00 per **UNIT**, Multi-Family / Non-Refundable.
- \$200.00 Plan Review – Non-Refundable
- See Commercial Rates on Fee Schedule

After obtaining my Tehama County Permit. I will provide the POA office with a copy of the Tehama County permit for the property file and AC notification.

You have one (1) YEAR to complete your project.

Note: The LC Architectural Committee and LC Accounting will return the refundable performance deposit when the project and landscaping is complete. **You have 60-days to complete your landscaping after the Certificate of Occupancy has been issued.**

In the event a project is not completed to the satisfaction of the Architectural Committee, or a Notice of Non-compliance has been filed, the Architectural Committee may elect to hold deposits until all unsatisfactory or non-compliance items have been corrected.

Note: Deposits are not interest bearing.

I have read and understand the above statement:

Date: _____

(Owner of Record Signature Required)

Date: _____

(Owner / Contractor Signature)